

- (39) 106 South Hickory Street-Built in c. 1905.

An excellent example of a Bungalow as a front-gabled substyle with gently-pitched broad gable roof, wood posts on brick pedestals, bay windows in sides, heavy bargeboard with triangular knee braces, and end wall chimney. This property warrants further study for its architectural integrity. Included in Area #2 in Nowata.

- (40) 100 North Hickory Street-Built in c. 1905.

This is an exceptional Colonial Revival style dwelling with side-gabled subtype features (McAlester and McAlester, p. 321). It has an accentuated front door with decorative crown in form of a pediment, columns, and sidelights. The facade possesses symmetrically balanced windows and center front door with elliptical arch and tracery. The pedimented portico has a curved underside. Additional features include a one-story side wing with balcony accented by latticed work railing, a bay window in the wing, end wall chimneys, and dentils in eaves. One of the best examples of this style in Nowata that deserves further study. Included in Area #2 in Nowata.

- (41) 107 North Hickory Street-Built in c. 1905.

A front-facing gambrel roof Colonial Revival style dwelling (Dutch Colonial) that features flared eaves, decorated bargeboards, cornice returns, a decorative wood crown with key over front door, an octagonal

ventilator in facade, and a one-story enclosed porch with balcony enclosed by cast iron railing. An outstanding example of the Dutch Colonial style that merits additional study. Included in Area #2 in Nowata.

(42) 115 North Hickory Street-Built in c. 1927.

A Bungalow/Craftsman style dwelling with several features that exemplify this style including screened sun porch with gabled roof, a hipped roof over main body of house with continuous shed dormers, square wood posts set on closed brick railing, pyramidal-shaped ventilator, and bay window. Because of its architectural integrity, the property justifies additional study. Included in Area #2 in Nowata.

(43) 224 West Delaware Avenue-Built in c. 1905.

A hipped roof dwelling with Colonial Revival characteristics including widely overhanging eaves with false beams in hipped roof porch and under eaves of main body of the house, gabled dormer, turned porch columns, Queen Anne front door windows with sidelights, and shutters. This property deserves further study because of its architectural integrity. Included in Area #2 in Nowata.

(44) W.A. Davis Home (227/229 West Delaware Avenue)-Built in c. 1900.

This mixed Bungalow and Colonial Revival style dwelling features clipped gable roof, a shed roof dormer, full

width one story porch with hipped roof, round porch posts set on square pedestals with wood balustrade, and rear addition with balcony enclosed by wood railing. Recent siding does not compromise integrity of the overall design or scale of the house which thus deserves further study. Included in Area #2 in Nowata.

(45) 305 West Delaware Avenue-Built in c. 1927.

A two-story Prairie School dwelling with hipped roof and asymmetrical composition including a one-story porch with massive square brick porch supports. It has a low-pitched hipped roof with widely overhanging eaves accented by wood trim. The front entry features brick pedestals topped with masonry urns and a brickwork hood over front door. Sidelights with wood molding flank door in east side entry porch. Additional elements include multipaned windows in front facade and corbelled chimney. A flat-roofed car port has been added, but the dwelling is worthy of further study because of its integrity as a Prairie School example. Included in Area #2 in Nowata.

(46) 313 West Delaware Avenue-Built in c. 1927.

An exceptional example of the Colonial Revival style with hipped roof and full width porch (McAlester and McAlester, p. 321). It features a symmetrical arrangement of windows and door in facade, an accentuated front door entry with decorative crown and urns as well as supported by modest pilasters.

Sidelights and fanlight accent the front door. Additional features include an end wall chimney and double-hung sash windows with multiple panes. This property merits further study for its architectural detail and historic association with one of the earliest residential sections of Nowata. Included in Area #2 in Nowata.

- (47) Glass House (324 West Delaware Avenue)-Built in c. 1927.

A stucco, two-story Colonial Revival style dwelling with side-gabled roof and one-story wing. The cross gables form a T floor plan. The front door entry porch is supported by slender columns and topped with a modest entablature as well as a transomed front door. Additional exterior elements include matching end wall chimneys with corbelled caps, a one-story rear wing with gabled dormers and porthole windows, quarter circle lunette windows in second story of the west wall, a multipaned bay window in west wall, and dentiled cornice. This classic Colonial Revival style property rates further study because of its outstanding architectural detail. Included in Area #2 in Nowata.

- (48) 127 South Pecan Street-Built in c. 1905.

A Craftsman Bungalow with low-pitched front gabled porch and cross gabled main body. Exterior features include tapered wood posts set on square brick pedestals in porch. Widely overhanging eaves with

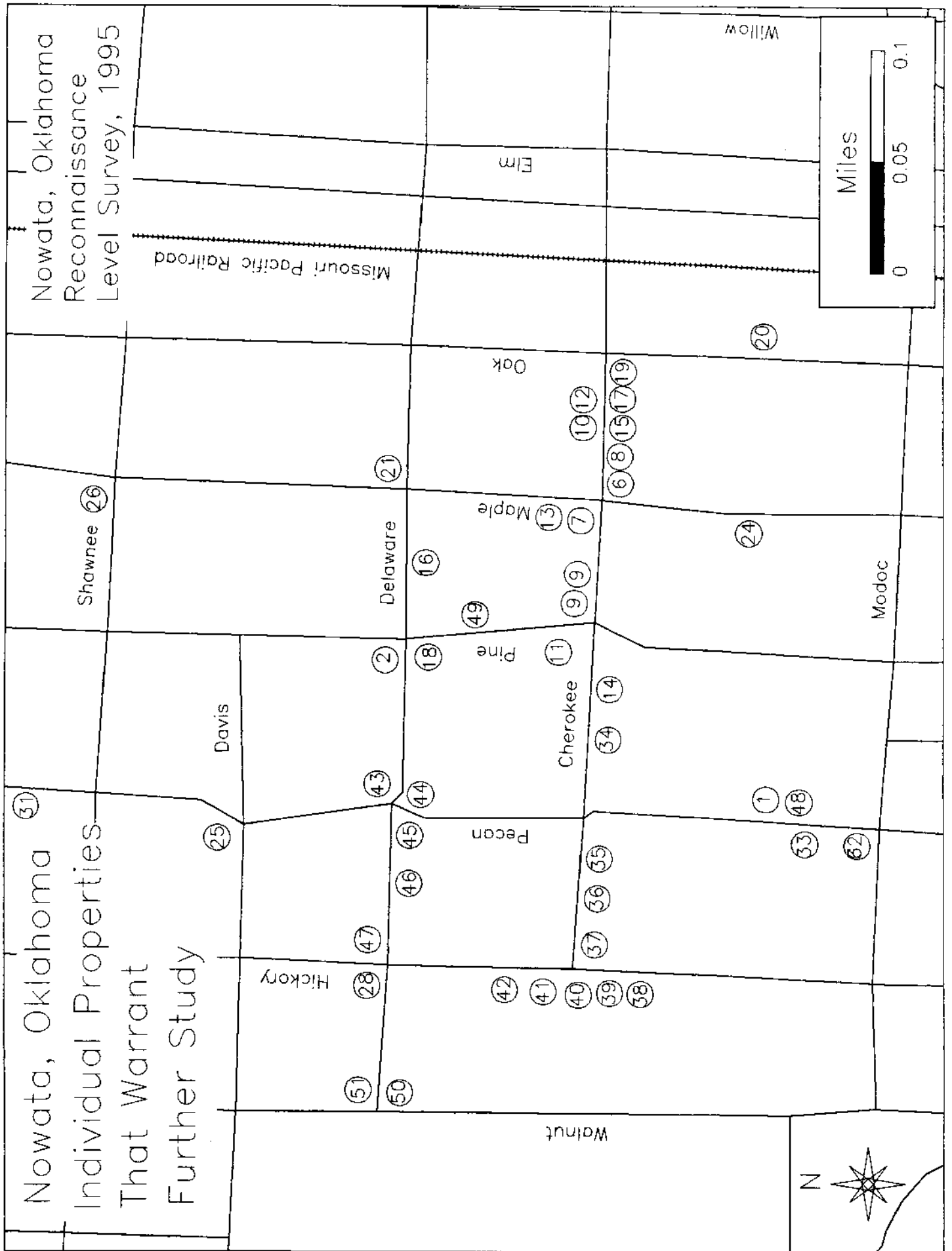
exposed rafters and triangular knee braces in cross gable and front gabled porch. Additional features consist of two interior chimneys with corbelled caps, multipaned windows, and brick railing for porch. A classic intact bungalow that merits further study. Included in Area #2 in Nowata.

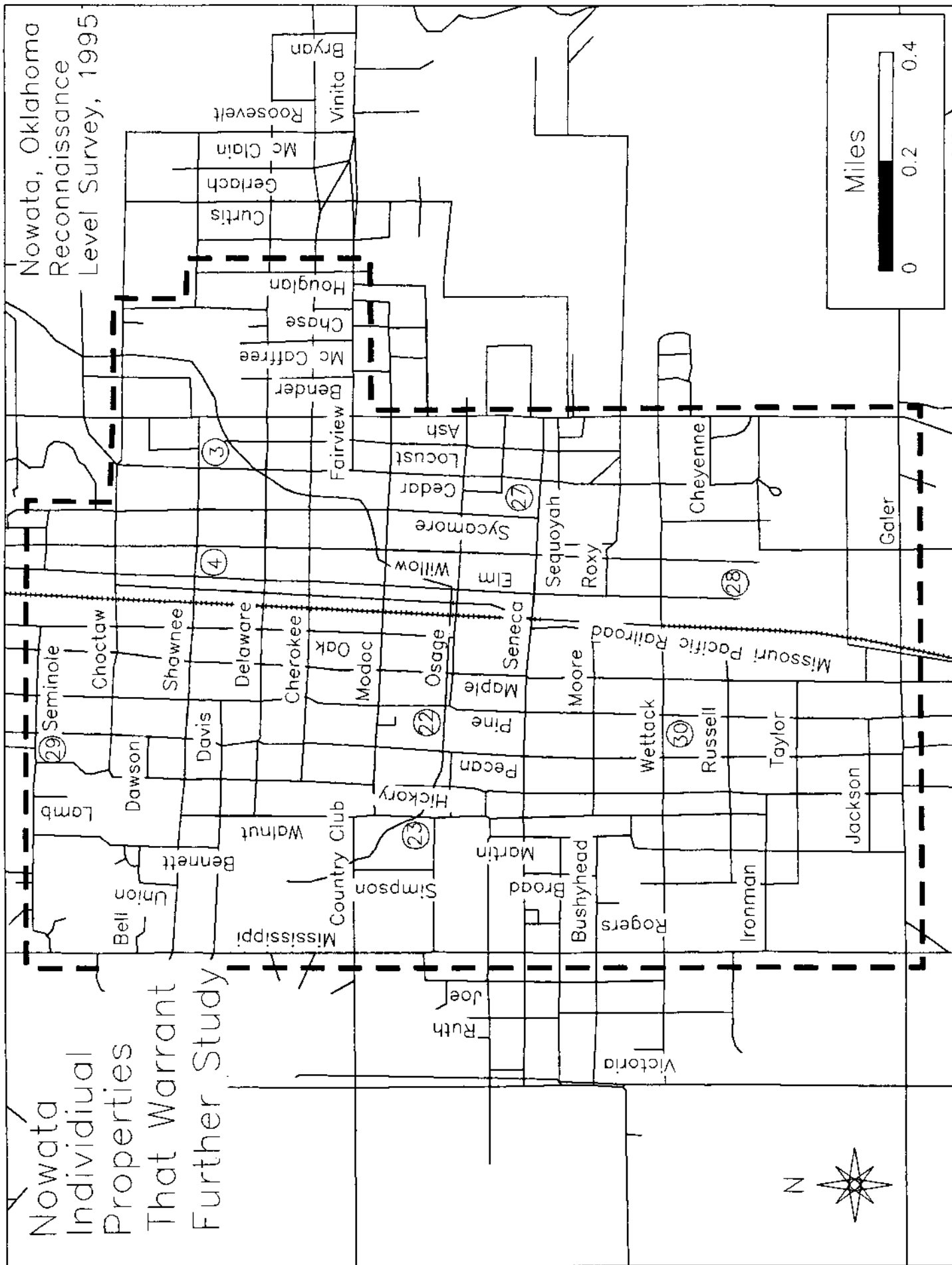
- (49) Osteopathic Clinic (121 South Pine Street)-Built in c. 1915.

A flat roofed, one-story Commercial style building that housed the Nowata Osteopathic Clinic for approximately 50 years. Minimal decorative features; however, has original tile floor in entryway with osteopathic symbol. New windows, entry door, and metal awning detract from its architectural integrity, but retains overall scale. It justifies further study because of the property's historic association with the medical history of the community. Currently, it houses the Nowata County Historical Society Museum.

- (50) 419 West Delaware Avenue-Built in c. 1927.

This is a two-story, brick Colonial Revival dwelling with hipped roof and side-gabled form. The front door is accented by dentiled pediment and sidelights/transom. Brick belt course divides stories. The one-story wing includes round arches with keys over windows. Further features include matching end wall chimneys and a dentiled cornice. Another fine example





of a Colonial Revival style that deserves additional study. Included in Area #2 in Nowata.

(51) 422 West Delaware Avenue-Built in c. 1927.

This is an outstanding example of the Airplane Bungalow style with one-story gabled roof and hipped partial second story. It features a wraparound porch with brick railing, widely overhanging eaves with exposed purloins, and tapered wood posts on square brick pedestals. This property justifies additional study because of its unique bungalow design. Included in Area #2 in Nowata.

CUSHING

(1) 323 East Sixth Street-Built in 1918.

An exceptional example of a Craftsman period Bungalow style dwelling with an intersecting gable and sun porch on the rear (double porch on north and east sides). It reflects many classic bungalow characteristics including gently pitched broad gables, low horizontal lines, widely overhanging eaves with exposed rafters, heavy bargeboard supported by brackets, tapered wood posts on brick pedestals, brick end wall chimney, and Queen Anne windows. Because of its architectural integrity for 77 years, the dwelling merits further study.

(2) First Baptist Church North (1001 North Central Avenue)-  
Built in 1920.



An African-American religious building that has served this ethnic community for 75 years. It is a one-story wood frame building with gabled roof, widely overhanging eaves, and exposed rafters. A cornerstone reflects the 1920 construction date. Although siding has been applied to walls and a metal addition completed to north side, the church merits additional study because of its ethnic significance to the Cushing community. Included as one of the churches in Thumbnail Sketch for Area #4 in Cushing.

- (3) Mount Olive Baptist Church (1019 North Central Avenue)-Built in 1914.

An African-American related religious building that has served the Washington Heights community of Cushing for over 80 years. It is a one-story church with gabled roof and overhanging eaves. The gabled entryway has scalloped trim with double doors and iron railings. The church bell stands by the entrance. Although siding has been added, the architectural and historic integrity of the church warrants further study. Included as one of the properties in Thumbnail Sketch Area #4 in Cushing.

- (4) Masonic Building (114-116 North Cleveland Avenue)-Built in 1915.

A three-story brick Commercial style building featuring a pedimented parapet on facade, pilasters above cornice level with square caps, corbeling at cornice level on

facade and rear wall, stone and brick belt courses, polychromatic brick, and the Masonic symbol on nameplate above the cornice. A cornerstone marks the 1915 construction date. Windows are covered and other minor alterations serve to compromise its architectural integrity, however, it deserves further analysis. Included in Thumbnail Sketch for Area #1 in Cushing Broadway Street District.

- (5) Cushing Grocery Company (105-123 North Depot Avenue)-  
Built in 1915.

A unique flat-iron, one-story Commercial style building that possesses minimal decorative elements. It has a flat roof with parapet, three round arches in east wall, decorative brickwork at upper levels, and transom over door in west wall. A metal sign reading "Cushing Grocery Company" and the same painted in black in north brick wall indicate its historic integrity for over 80 years. Entryways are filled in on east side. The building remains in poor condition and need of repair. Because of its unique design and its historic association with the commercial district of Cushing, the building merits further study.

- (6) 204 North Harrison-Built in 1929.

A two-story, brick Commercial style building that features several exterior elements including four pilasters with caps and bases in west wall with brickwork (soldier style) in facade between pilasters,

a masonry entablature with dentils, seven pilasters highlight the south wall, original metal awning, a masonry belt course, and fixed glass block windows in the clerestory of facade. Non-original doors and windows detract from architectural integrity, but the building deserves additional study because of its historic association with the history of the Cushing central business district. Included in Thumbnail Sketch of Area #1 of the Broadway Street District.

- (7) Memorial Park (South Little Avenue and East Second Street)-Built in 1935.

A Works Progress Administration project of the New Deal Era of the 1930s, Memorial Park remains a landmark and recreation area for the city of Cushing. Native sandstone columns and partial fence frame the entrances on north and west sides. The park includes a duck pond lined with native sandstone, a log cabin that was moved to the park in the 1950s (stands near north entrance), Memorial Park swimming pool (west side of the park), and numerous deciduous trees and open space. Because of its landscape architecture and its significance as a W.P.A. project, Memorial Park warrants additional study. It is listed on the O.L.I.

- (8) Cushing Municipal Light and Power Plant (301 North Seay Avenue)-Built in 1936.

A two-story, brick industrial building with angular composition and some Art Deco treatment. Stepped

pilasters and Art Deco lanterns comprise the decorative elements. It remains in excellent condition and still used as back-up for Cushing's utility needs. Because of its 59-year association with the industrial history of Cushing and its pristine condition, the building deserves further study.

- (9) Cushing Public Library (215 North Steele Avenue)-Built in 1939.

A two-story with basement educational facility that has served the library needs for Cushing for over 56 years. The angular composition of the building presents an Art Deco flavor with six brick fluted pilasters that accentuate the entrance giving it vertical emphasis. A series of setbacks in the facade also emphasize the geometric form of the building. The library remains in excellent condition and deserves additional study.

- (10) Katy Freight Depot (626 North Steele Avenue)-Built in 1905.

One of the few remaining transportation-related properties associated with the Territorial Era and oil boom period in Cushing. Exterior features include a gabled roof with overhanging eaves, exposed rafters, and triangular knee braces. It has clapboard siding and two interior chimneys. During the oil and gas boom of the Cushing Oil Field, the Katy Freight Depot boasted the most freight records of any depot on the Missouri, Kansas, and Texas railroad lines. It is the

only remaining property associated with the Katy railroad in Cushing because the passenger depot was razed about fifteen years ago. Because of its association with the transportation and petroleum history of Cushing, the 90-year old building merits further study. It remains in poor condition.

- (11) A. L. Treese Building (102 East Broadway Street)-Built in 1917.

This three-story, Commercial style building features a canted/cutaway corner with decorative elements including pilasters and battlements, corbeling of brick at upper level, quoining of brick at corners, brick belt courses dividing the upper stories, a nameplate with date in west wall, and multipaned windows. The upper two stories retain their integrity, however, the first story has been veneered with new brick. The design remains unaltered, therefore, it warrants further study because of its long association with the commercial history of Cushing. It is included in Thumbnail Sketch of Area #1 in the Broadway Street Commercial District.

- (12) W.M. Karr/C.M. Anthony Store (118 East Broadway Street)-Built in 1922.

A one-story, brick Commercial style building with pilasters at corners, decorative brickwork panels in the facade, and nameplate and date in center panel. Although a modest commercial building, C.R. Anthony

began his famous chain of department stores in the Karr building. Because of its historic relationship to the Anthony stores throughout Oklahoma, the building merits further study. Included in Thumbnail Sketch of Area #1 of the Broadway Street District. This property is listed on the O.L.I.

- (13) C. C. Walters Building (201 East Broadway Street)-Built in 1925.

This two-story, red brick Commercial style building features pilasters with masonry caps and bases on north and west walls, masonry entablature-like cornice with dentils, masonry belt course, hood molds over west wall openings, decorative brickwork panels, masonry pendants of chevron and diamond design, nameplate below cornice, and the original metal awning supported by chains mounted to building walls. Although windows are covered with various materials, the Walters Building warrants further study because of its 70-year association with the commercial history of Cushing. Included in Thumbnail Sketch of Broadway Street District (Area #1 in Cushing).

- (14) Jeske Building (217 East Broadway Street)-Built in 1926.

A one-story, red brick, Commercial style building with nameplate and date. Minimal exterior features include corbeling of brick at cornice level. Aluminum siding has been added around display windows, but the building

has retained its commercial function for almost 70 years and merits further study. Included in Thumbnail Sketch of Area #1 in Cushing.

- (15) Glen Building (219 East Broadway Street)-Built in 1927.

A one-story, red brick Commercial style building with nameplate and date. Features corbeling of brick at cornice level. Because of its 68-year association with the central business district of Cushing, it warrants additional study. Included in Thumbnail Sketch of Area #1 in Cushing.

- (16) Hancock Building (221 East Broadway Street-Built in 1922.

This two-story, red brick Commercial style building is highlighted by a canted/cutaway corner with nameplate and date. Exterior features include a stepped parapet and quoining of the brick at canted corner. First floor openings are filled in with new display windows which detract from architectural integrity, but the building deserves additional study because of its 73-year history with Cushing's central business district. Included in the Thumbnail Sketch of Area #1 in Cushing.

- (17) 1035 East Broadway Street-Built in 1925.

This is a Colonial Revival (side-gabled subtype) dwelling with symmetrical balance of fenestration in the facade, an accentuated front door with entry porch supported by Tuscan columns, a porte cochere also supported by Tuscan columns on brick pedestals, an end

wall chimney with corbeled cap, cornice returns, and front door with fanlights. As outlined in McAlester and McAlester (pp. 321-22), the dwelling exhibits many of the characteristic Colonial Revival elements so it merits further study. Included in Thumbnail Sketch #2 in Cushing.

- (18) Hiram Dunkin Home (309 East Broadway Street)-Built in 1923.

The one-story gabled roof dwelling with a partial hipped roof second story manifests numerous features of the Airplane Bungalow vernacular style. It possesses overhanging eaves with exposed rafters, gently-pitched multiple gables, heavy bargeboards supported by brackets in gabled portions, tapered wood posts on brick pedestals, sunrise motifs in gabled projections, and a porte cochere. Hiram Dunkin was a prominent civic and business leader in Cushing during the oil boom era. He was owner of the Dunkin Theatre (constructed in 1926) and helped develop one of Cushing's first amusement parks near what is today the Cushing City Lake. Considered at one time to be the most expensive and largest home in Cushing, the dwelling contains extensive use of oak wood trim around the doors and windows, above the fireplace, and on the open staircase. Other interior features are intact. Because of its association with Dunkin, classic Airplane Bungalow features, and interior elements, the



Dunkin Home merits further study. This property is listed on the O.L.I.

(19) 513 East Broadway Street-Built in 1920.

A classic Bungalow dwelling with all characteristics intact including a gently-pitched broad gabled roof, exposed purloins and rafters, lower gable covering the porch, widely projecting eaves, heavy bargeboards supported by brackets, tapered wood posts on square stone columns, native stone end wall chimney, stickwork in gabled porch, multipaned lights in upper sashes, and sidelights to front door. Because of its well-preserved architecture, this dwelling deserves further study. Included in Thumbnail Sketch of Area #2 in Cushing.

(20) 621 East Broadway Street-Built in 1920.

An Italian Renaissance dwelling with projecting wings (one a porte cochere) that fits the McAlester and McAlester (p. 397) subtype. It possesses a low-pitched hipped roof with tile covering, widely overhanging eaves, projecting wings supported by Tuscan columns, round arched entry supported by decorative brackets, transomed facade windows with side lights, and an interior chimney with corbeled cap. Because of its architectural integrity for more than 75 years, the dwelling merits further study. Included in the Thumbnail Sketch of Area #2 in Cushing.

(21) 833 East Broadway Street-Built in 1920.

An Italian Renaissance with hipped roof and projecting wings subtype (McAlester and McAlester, p. 397). It has a tile roof cover, entry area accentuated by projecting wing with a porch supported by Corinthian Order wood columns and a balcony (cast iron railing), widely overhanging eaves, round arched brickwork over facade windows, doors and windows with sidelights, and round chimney pots. A well-preserved Italian Renaissance dwelling for more than 75 years that justifies further study. Included in Thumbnail Sketch of Area #2 in Cushing.

(22) 904 East Broadway Street-Built in 1928.

A Classical Revival dwelling with full facade porch (McAlester and McAlester, p. 343). This example of a Classical Revival subtype has side-gabled composition with one-story wings. The colonnaded porch has a flat roof and is supported by undecorated columns. It has a balustraded balcony over the second floor, a bayed wall in center of facade, and a broken pediment motif above the entry door. It appears to have recently added siding, but does not detract from overall scale and composition of the dwelling, and is worthy of further study because of its architectural significance. Included in Thumbnail Sketch of Area #2 in Cushing.

(23) 1019 East Broadway Street-Built in 1920.

Another Italian Renaissance dwelling with projecting wings subtype (McAlester and McAlester, p. 397). It is

characterized by widely overhanging eaves with brackets, a low-pitched hipped roof with tile covering, stone belt course with decorative brackets and urns, brick balustrade with masonry caps around the porch, masonry hood molds over six grouped windows in north wall, and rounded chimney pots. A classic example of this Italian Renaissance subtype that rates additional study. Included in Thumbnail Sketch of Area #2 in Cushing.

- (24) American Legion Hall (212 South Noble Avenue)-Built in 1924.

A one-story modest Mission treatment of this veteran's organization meeting place. It has a smooth stucco wall surface with a mission-shaped roof parapet, and porch roof is supported by large square piers. The property warrants further study because it has been used by American Legion veterans group for over 70 years.

- (25) Wilson Elementary School (1141 East Cherry Street)-Built in 1928.

This is a one-story, red brick Colonial Revival style educational property that features pilasters flanking the entrance, a scrolled stepped parapet with centered medallion, circle arched brickwork over windows, and a pedimented parapet along north wall roofline. It has an extensive addition on Cherry Street side of main building, however, because of its historic function as

a school for over 67 years, the school justifies further study.

- (26) Cushing Ice Company Plant (207 East Katy Street)-Built in 1910.

A Commercial style industrial building that is one of the few remaining facilities associated with the early town site development near Main Street in Cushing. Because of its 85-year old association with Cushing's "Old Jericho" central business district that developed around the M,K, and T railroad, the building merits further study.

- (27) Burkey Creamery (205 West Cherry Street)-Built in 1927.

Although no longer in use, the Burkey Creamery building was the only independent creamery left in Oklahoma at the time of its closing in the 1980s. This locally-owned business started with one churn and processed milk from community farmers. In addition to butter, A. H. Burkey (the founder) later expanded his business to include bottled milk and eggs (butter was wrapped by hand). By the late 1970s, 4.4 million pounds of butter were churned and shipments were made to a seven-state region. In 1976, the Wilsey-Bennett Company of Oklahoma City purchased the creamery and acted as a distribution center for Burkey Creamery butter shipped coast to coast. Because of its historic significance to the commercial history of Cushing and Oklahoma, the one-story, flat-roofed building (no distinctive style)

deserves additional study. It is on the O.L.I. and is one block to the west of Area #1 in Cushing.

(28) Katy Hotel (330 East Main Street)-Built in 1905.

The only Territorial Era hotel in Cushing and one of the few remaining properties associated with the Main Street central business district. It is a two-story brick Commercial style building with pilasters framing the entry; round arched openings over entrance, door in north wall, and second floor window; stepped parapet; a belt course divides stories; and corbeling exists in upper levels. It features a canted or battered corner. Many of the openings are filled in and the brick is painted. Because of its historic significance to early town development as a commercial building associated with the M, K, and T railroad, the Katy Hotel warrants further study. This property is listed on the O.L.I as part of the "Old Jericho" District.

(29) First Presbyterian Church (301 East Moses Street)-Built in 1920.

A Classical Revival style religious building which embodies many of the characteristic elements including a monumental portico in the Ionic Order accentuating the church entrance. The facade features Ionic columns with volutes, attic bases, and dentils along the cornice. A pedimented hood mold highlights the entry door with stained glass transom and sidelights. A Palladian-style window of stained glass is the focal

point of the second story facade. The east and west walls consist of Palladian-type windows with keys, giant pilasters, and pedimented hoods over entrances in the west wall. Belt courses are located at the upper level and divide the first story and basement. An east side addition reflects similar vocabulary. Because of its architectural significance, the church is worthy of further study.

(30) 1038 East Moses Street-Built in 1927.

This Spanish Eclectic dwelling is a one-story, cross-gabled property with stuccoed walls, round arched entry, arcaded patio (east side), and pierced stucco end wall chimney. Because of its architectural integrity, the dwelling is deemed worthy of further study. It is included in the Thumbnail Sketch of Area #2 in Cushing.

(31) 945 East Moses Street-Built in 1925.

This Prairie School style dwelling is characterized by a low-pitched hipped roof, a hipped dormer, massive square porch posts, contrasting wood decorative brackets, and a broad flat chimney in east wall. It is two stories high with one-story wings and features a porte cochere. A well-preserved example of the Prairie School style, the dwelling merits further study.

Included in Thumbnail Sketch of Area #2 in Cushing.

(32) 807 East Moses Street-Built in 1928.

An eclectic dwelling composed of Italian Renaissance and Spanish vocabulary with an Airplane Bungalow design. It contains a tile roof with overhanging eaves, triangular knee braces, a cross-gabled roof, end wall chimney, coping along roofline, and arcaded sections of porch and porte cochere. A well-preserved dwelling in the older residential area of Cushing, it warrants further study and is included in the Thumbnail Sketch of Area #2 in Cushing.

(33) Mathias House (745 East Moses Street)-Built in 1929.

A classic Colonial Revival style dwelling listed in the O.L.I. The two-story, red brick house features a side-gabled roof, pedimented dormer, pedimented entry with curved underside supported by slender columns, round arched door with key, a one-story side wing with a flat roof supported by modest columns serving as piers for brick pedestals, masonry flat arch lintels with keys and masonry sills with dentils, paired windows, and two chimneys (one end wall and the other interior) with corbeled caps. The symmetrically-balanced facade with center door and windows are characteristic of the Colonial Revival style. Because of its exceptional styling, the Mathias House merits further study and is included in Thumbnail Sketch of Area #2 in Cushing.

(34) First Baptist Church (424 East Moses Street)-Built in 1920.

A Colonial Revival religious building which features a Palladian-style window of stained glass in the south wall with louvered arched opening above window and decorative brickwork panel below it. Other elements include brick hood molds over the entry and segmental arched openings in east wall. Additions have been completed to the north and south walls. Because of its 75-year historic significance to the community, the church deserves additional study.

(35) 321 East Moses-Built in 1900.

An Italian Renaissance dwelling in the hipped roof with projecting wings subtype (McAlester and McAlester, p. 397). Typical Italian Renaissance features are comprised of widely overhanging eaves, arched entry, masonry belt courses, pierced pilasters at the corners, dentiled masonry sills in upper story windows, segmental arches in porch, and brick balustrade with masonry capping. Because of its architectural integrity for a 95-year old house, this Territorial Era property merits further analysis.

(36) Macedonia Colored Methodist Episcopal Church (301 West Pine Street)-Built in 1925.

An African-American ethnic-related historic religious building with vernacular style. It has a gabled roof with wide eaves and a gabled porch with off-centered double doors. The church includes an addition to the rear, using similar materials, and has been covered



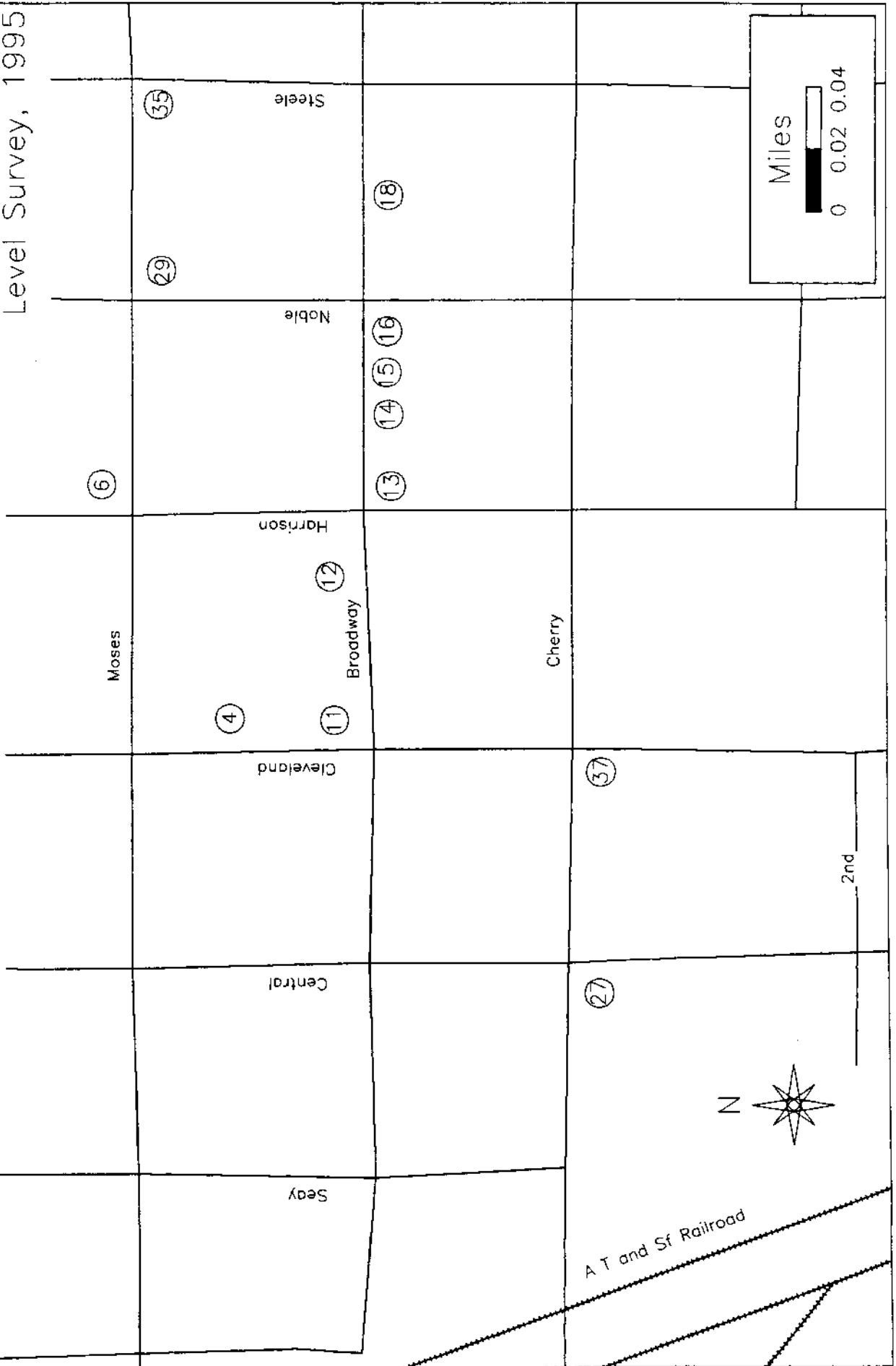
with asbestos siding. This historic property is worthy of additional study because of its 70-year association with the African-American community of Cushing and it is representative of one of the mainline African-American religious denominations. Included in Thumbnail Sketch of Area #4 in Cushing.

- (37) Salvation Army Hall (101 East Cherry Street)-Built in 1925.

This two-story vernacular style religious building has been associated with the Salvation Army of Cushing for over 70 years. It has minimal decorative features including a hexagonal tower with cross and features a cross gable roofline. Because of its historic association with the social history of Cushing, the property deserves further study. Included in the Thumbnail Sketch of Area #1 in Cushing.

# Cushing Individual Properties That Warrant Further Study

Cushing, Oklahoma  
Reconnaissance  
Level Survey, 1995



Cushing, Oklahoma  
Reconnaissance  
Level Survey, 1995



X-C.            THUMBNAIL SKETCH FOR POSSIBLE MULTIPLE PROPERTY  
                 NOMINATION TO NATIONAL REGISTER

(1)    SHOTGUN HOUSES IN CUSHING

Approximately 18-20 shotgun houses are identified in the designated study area of Cushing. The origin of the shotgun is debatable; however, anthropologists and cultural geographers contend it is derived from West African housing and diffused to the West Indies. From there, Haitians, migrating to New Orleans, brought the concept to the American South. It became prevalent in Southern neighborhoods from about 1880 to 1930. In the oil-producing regions, the shotgun house was built on oil field leases and in oil boom towns for petroleum worker housing, especially in Oklahoma, Texas, and Louisiana. The shotgun house diffused from Texas via "boomchasers" who brought the vernacular style concept to the Oklahoma oil fields. The shotgun houses in Cushing are socially significant because they represent the only remaining examples of this type of vernacular architecture constructed during the Cushing Oil Field boom period from 1912 to 1930. In a period of three years (1912-1915), Cushing's population increased ten-fold from approximately 700 to 7,000. There was a critical shortage of housing with an estimated 2,000 people living in tents in and around Cushing. Shotgun houses, which were quickly and easily constructed, helped close the gap between housing demand and supply.

Built as semipermanent structures, the shotgun houses have endured and become a part of the Cushing housing market.

The shotgun houses of Cushing are architecturally significant because they provide one of the best examples of vernacular architecture in Oklahoma; many of which have remained structurally intact for more than 70-80 years. The design of the Cushing shotguns follows the form of shotgun found primarily in the American South. The floor plan of the shotgun is usually twice as long as wide, e.g., 14' X 28,' consisting of two to four rooms deep and one room wide, and constructed so that one room leads directly to the next without any hallways.

The Cushing shotguns reflect numerous shared characteristics in addition to the floor plan. They are one-story, gabled roof houses with gabled roof porches although a few have shed roof porches. The front door is generally off-centered. The term "shotgun" is derived from the placement of the front and back door in that one can stand at the front door and fire a shot through the house where it will travel out the back door without hitting anything in between. Additional common features of the Cushing shotguns are use of locally-available construction materials; wood framing and siding. Although several of the Cushing shotguns are covered with recent siding materials, the

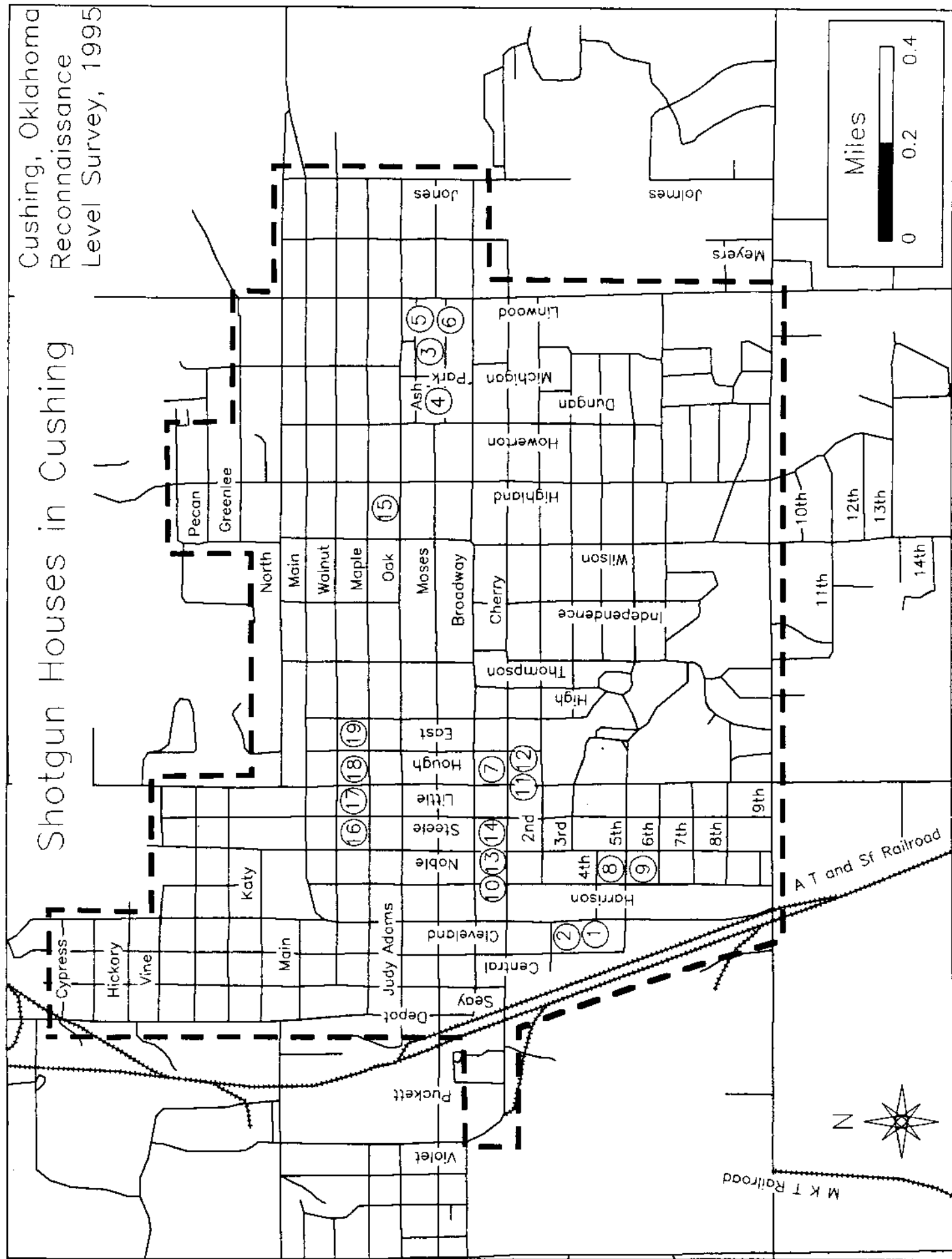
common wall finishes were clapboard (1" X 3" narrow overlapped boards) or board-and-batten.

The porch was a Southern housing tradition and all the Cushing shotguns possess this feature. Used for the warm, humid climate of the South, the porch served as an opportunity to cool oneself from the outdoor breezes. Most of the Cushing shotgun porches have slender porch columns of wood or wrought iron and feature stickwork in the gabled porch facing the street. Some exhibit exposed rafters in eaves of house and porch. The most notable examples of shotgun houses in Cushing that merit an intensive study for a multiple property nomination to the National Register are:

- (1) 307-309 South Cleveland Avenue (1915)
- (2) 305 South Cleveland Avenue (1935)
- (3) 1318 East Ash Street (1920)
- (4) 1207 East Ash Street (1920)
- (5) 223 North Linwood Avenue (1925)
- (6) 217 North Linwood Avenue (1925)
- (7) 113 South Hough Avenue (1920)
- (8) 520 South Harrison Avenue (1915)
- (9) 518 South Harrison Avenue (1915)
- (10) 308 East Cherry Street (1918)
- (11) 504 East Cherry Street (1915)
- (12) 502 East Cherry Street (1915)
- (13) 312 East Cherry Street (1920)
- (14) 310 East Cherry Street (1920)

- (15) 1030 East Oak Street (1918)
- (16) 411-413 East Walnut Street (1925)
- (17) 415 East Walnut Street (1924)
- (18) 513 East Walnut Street (1924)
- (19) 511 East Walnut Street (1929)

# Shotgun Houses in Cushing





X-D. THUMBNAIL SKETCH OF AREAS WARRANTING FURTHER STUDY  
BROADWAY STREET AREA IN CUSHING-AREA #1

History:

The Broadway Street Area #1 in Cushing warrants further study as a commercial district because of its significance to the commercial and architectural history of the community during its early years as a cotton-processing and railroad center (1902-1912) and its later emergence as an oil boom town with continued railroad importance (1912-1930). The area is the only remaining historic central business district (CBD) in Cushing and retains a cohesive group of commercial buildings. The original central business district along Main Street contains only one building (Katy Hotel). The district is named after Broadway Street, the main east-west artery that was the first paved street in Cushing. Eighty acres of land, platted as the South Addition to Cushing, was developed south of the original townsite along Main Street about five blocks to the north, or approximately one-half mile. The original townsite plan was adopted in 1893 and the first business district developed along Main Street.

Broadway Street in the South Addition to Cushing (platted in 1902) was developed as a second central business district beginning in 1902 when the Atchison, Topeka and Santa Fe Railway laid tracks into Cushing and the depot was constructed at the west end of

Broadway. Twelve new native sandstone buildings were begun in April, 1902 on the south side of the 100 block of West Broadway. Occupants of these original buildings were three hardwares, a bakery, a grocery, two banks, and an auto supply store. The only building which retains its historic and architectural integrity from this period is The First State Bank at 123 West Broadway. The native sandstone buildings, known as "The Stone Block," were constructed by John and Tom Hopkins, owners of a local quarry which supplied the building materials. About a year later on the north side of the 100 block of West Broadway, nine commercial buildings were constructed of brick from the new brick yard and kiln located in Cushing. Known as "The Brick Block," these buildings were occupied by hardwares, dry goods, groceries, and drug stores.

The central business district of the 100 block of West Broadway continued to extend eastward along Broadway up to 1930 when the oil boom influenced development along this main artery and its major side streets of Cleveland and Harrison. Buildings in the East Broadway section include the Dunkin Theater (1926), W.M. Karr Building (1922), and the Cushing Hotel (1928-29). The commercial buildings in the Broadway Street Area #1 are representative of the circa 1902 to 1930 era of the central business district of Cushing known locally as "The New Jerusalem" area

because it was the second commercial district after the one on Main Street known as "Old Jericho."

Description:

The Broadway Street area is characterized by one to four story commercial buildings with only one (The Cushing Hotel) reaching skyscraper proportions. The focal point is the four corners area at the intersection of Broadway and Cleveland which divides north/south and east/west street addresses in Cushing.

The area consists of a relatively flat terrain and possesses paved streets and sidewalks. Approximately 100 commercial buildings are contained in the area which is bounded on the east by the 100 blocks of North and South Noble; on the south by the 100 block of West Cherry and the 100 and 200 blocks of East Cherry; on the west by the 100 blocks of North and South Central; and on the north by the 100 block of West Moses and the 100 and 200 blocks of East Moses. Within the area are the 100 block of West Broadway and the 100 and 200 blocks of East Broadway as well as the 100 blocks of North and South Cleveland and the 100 blocks of North and South Harrison. The area contains approximately fifteen gaps/vacant lots created by the razing of buildings, three store front buildings with only partial walls and no roofs, and half-block parking lots on the side streets of Cleveland and Harrison. The area has been affected by the development of a major

shopping center and Walmart along State Highway 33 on the northeast side of town.

Architecture:

The Broadway Street Area is representative of the one-part and two-part commercial block type of composition used in small and medium-sized buildings in the United States. The two-part commercial block is generally limited to buildings of two to four stories and is characterized by a horizontal division into two distinct zones. The two-part division reflects the differences in interior functions. The single-story lower zone at street level indicates public space such as retail stores, bank lobbies, and hotel lobbies. The upper zone suggests more private spaces including offices (usually professional), apartments, or meeting halls. The one-part commercial block has only a single story treated in much the same manner as the lower zone of the two part commercial block. The facades consist of little more than glass display windows and an entry surmounted by a cornice or parapet. In both the one-and-two part commercial block compositions, street frontage is narrow with the most common dimensions 25' X 100.' The most dominant architectural style found along Broadway Street is the Commercial style. It is one to four stories high, rectangular in shape, 3-5 bays wide, and possesses a flat roof with parapet. All the buildings in the area have party walls. The

facades' first floor features large display windows as well as recessed entryways. Within the recessed entrances are either single or double wood panel or glass doors. Decorative elements are minimal including a moderately projecting cornice, often with corbelling or dentils; pilaster strips separating bays at upper levels; and various types of arches over windows in upper stories. Brick and native sandstone are the dominant construction materials.

Non-Contributing Properties:

Most of the noncontributing properties in the area are due to changes and alterations that have compromised their architectural integrity. Brick veneering at lower levels and the application of various forms of paneling (ranging from wood to aluminum) and awnings detract from the historic visual appearance and character of the buildings. Parking lots and gaps in the blocks decrease the cohesion of the area. Some new construction after 1950 is visible, such as a drive-in bank. Based on a rough block-by-block walking estimate, approximately 60 percent of the buildings in the area would be contributing properties.

Recommendation:

The Broadway Street Area #1 in Cushing appears to need an intensive level survey before a determination could be made as to its eligibility for National Register district status. It, therefore, warrants further study

beyond the reconnaissance level survey stage. At this point, the area is marginal; however, it includes three individual properties worthy of National Register nominations (Dunkin Theater, Cushing Hotel, and First State Bank building), eight individual commercial buildings that warrant further study, and the 100 block of West Broadway (approximately twenty buildings) listed on the O.L.I in 1980.

## EAST BROADWAY/EAST MOSES RESIDENTIAL AREA IN CUSHING-AREA #2

### History:

The East Broadway/East Moses Streets Area #2 is significant as an example of a residential neighborhood developed primarily in the 1920s following the oil boom period in Cushing from 1912 to 1920. Much of the housing built during the boom era was temporary or semipermanent because of the overwhelming increase in population. After the boom activity stabilized, residential housing in Cushing began to take on more of a permanent nature in the post-boom era. The East Broadway/East Moses Area represents the second residential area in Cushing because the first residential neighborhood was to the south of Main Street, near the Katy depot, in the original townsite platted in 1893.

The area is named after the two streets that are east/west arteries leading east from the central business district of Cushing, known as "New Jerusalem," the second CBD which emerged in the community after the entrance of the Atchison, Topeka and Santa Fe railroad in 1902. The area reflects the oil boom prosperity of the local area, a flourishing state economy, and the thriving national economy of the 1920s. The homes were built and occupied by the business owners and civic leaders of Cushing, and were within walking distance to work and/or shops in downtown Cushing. The area is a

visually cohesive neighborhood in terms of a group of residences that are carefully maintained and have remained intact for more than 60 years. The west edge of the area is distinctive because of the eastern boundary of the commercial section in the 200 block of East Broadway and the church buildings and transitional businesses in the 300 and 400 blocks of East Broadway. The residential area #2 is included in the following plats: Broadway Addition (1912), East Broadway Addition (1913), Stiles Addition (1915), Carpenter Addition (1920), Manning Addition (1920), and Howerton's Addition (1921).

Description:

Area #2 is characterized by relatively flat terrain, shady streets, and well-maintained residences. Sidewalks are prevalent throughout the area. Most of the homes are constructed on deep lots and set back from the street with well-landscaped lawns. The entire area is comprised of dwellings with no schools, churches, or commercial establishments. There is no particular focal point such as a school, church, or park.

The area is visually cohesive and the homes retain a high degree of architectural integrity. It is bounded on the east by the 100 blocks of North and South Highland; on the south by 500 to 1000 blocks of East Broadway; on the north by the 500 to 800 blocks of



East Broadway and 800 to 1000 blocks of East Moses; and on the west by the 100 blocks of North and South Little.

Architecture:

Area #2 is the best preserved historic housing stock in Cushing. It is representative of a 1920s residential neighborhood with a mixture of architectural styles typical of the Eclectic Movement from the 1880-1940 period (pp. 318-19 of McAlester and McAlester). A broad spectrum of period styles from Anglo-American/English (Colonial Revival, Classical Revival, and Tudor Revival), Mediterranean (Italian Renaissance and Spanish Eclectic), and Modern (Prairie School and Craftsman) houses are represented in the area. The Bungalow Craftsman is the predominate style including several variations such as the Airplane Bungalow. An exceptional example of the Bungalow is at 513 East Broadway, built in 1920. Representative of the Italian Renaissance style are at 621 East Broadway (1920), 833 East Broadway (1920), and 1019 East Broadway (1920). Intact Colonial Revival examples are at 745 East Moses (Mathias House on O.L.I.) built in 1929 and at 1035 East Broadway (1925). Additional outstanding examples are a Classical Revival at 904 East Broadway (1928), a Prairie School at 945 East Moses (1925), and a Spanish Eclectic at 1038 East Moses (1927).

Noncontributing Properties:

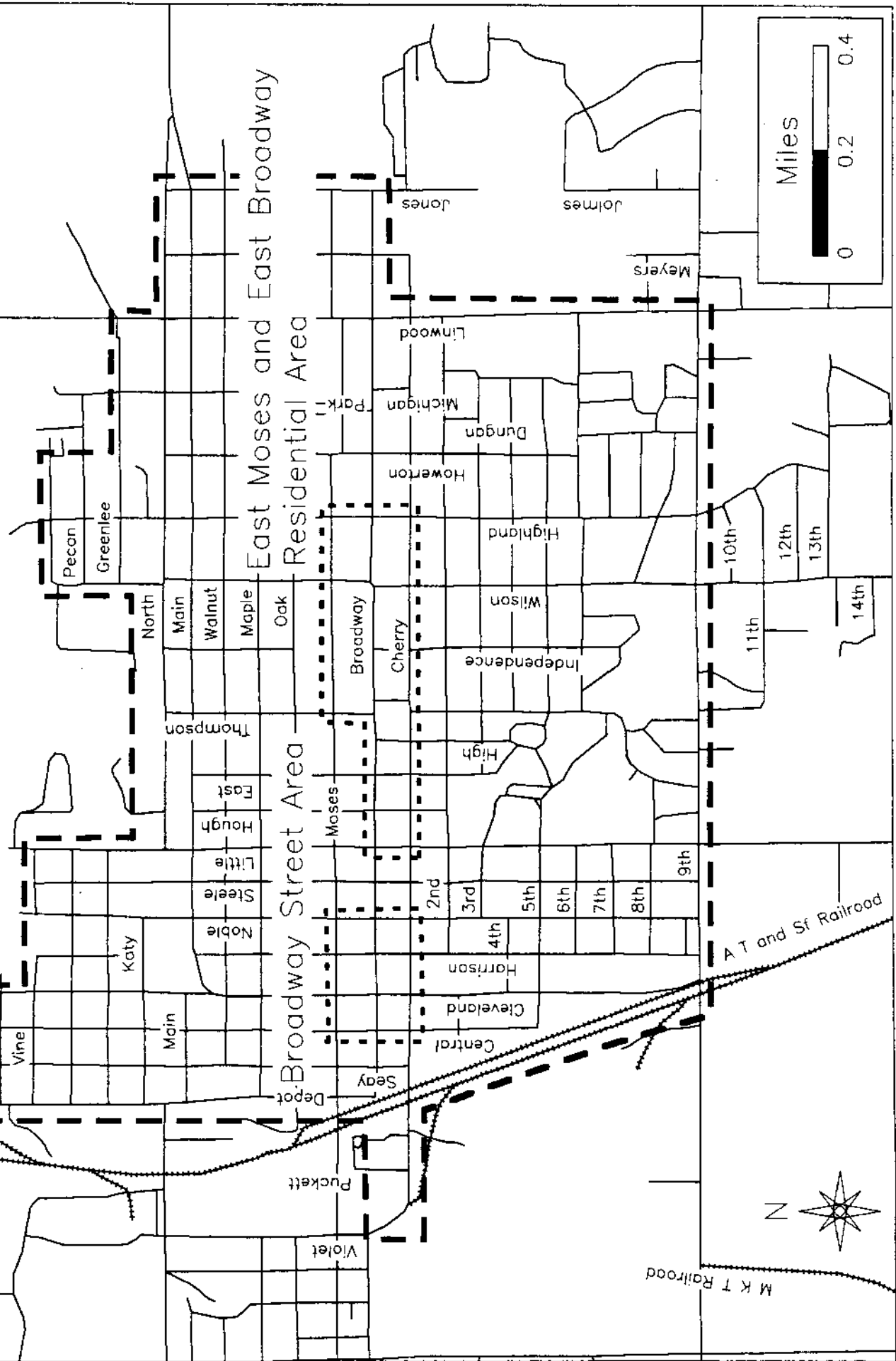
The East Broadway/East Moses Streets Area #2 contains few noncontributing properties. More than 90 percent of the houses retain their historic and architectural integrity. Most of the noncontributing elements in the area are due to recent siding and additions; however, they do not detract from the overall scale and detailing of the homes. There are an estimated half-dozen new Ranch style houses built in the 1950s and 1960s. No gaps or vacant lots exist in the area nor are there any commercial building intrusions.

Recommendation:

Area #2 deserves an intensive level study, but project staff is uncertain as to its eligibility at this time for a National Register nomination as a historic district. The high density of intact historic homes lends itself to merit further study; however, it is not a clearly distinctive neighborhood due to surrounding residences to the east, north, and south.

Cushing, Oklahoma  
Reconnaissance  
Level Survey, 1995

# Cushing Areas That Warrant Further Study



## CENTRAL BUSINESS DISTRICT OF RALSTON-AREA #1

### History:

The Central Business District of Ralston-Area #1 is significant as an example of a turn-of-the-century/statehood era commercial area developed between 1900 and 1910. The town was originally platted as Riverside in 1894 because of its proximity to the Arkansas River. The name was later changed in honor of the townsite developer, J.H. Ralston. Early wood-framed buildings and temporary establishments were replaced with the more permanent and fire resistant native sandstone mined from a local quarry owned by John and Tom Hopkins. All of the area is located within the Original Townsite platted in 1894 when the original post office opened along Main Street. The central business district buildings are located along the north and south sides of Main Street (Oklahoma Highway No. 18) which is the major east/west artery through the town.

### Description:

The area is located on both sides of Main Street between Fifth and Seventh. All of the buildings in the area are commercial except one residence. Native sandstone is the dominant construction material and the buildings are one or two stories high. The area has paved streets and sidewalks with a relatively flat terrain. Party walls exist on the north side from the

Opera House to the Bank of Ralston with the Phillips 66 station as an intrusion on east end. Major gaps are present in the south side with the new post office serving as a major intrusion. Three of the original buildings in the area retain only their facades and are basically structural shells. An estimated eighteen original buildings are present in the area.

#### Architecture:

All of the original buildings are one to two story Commercial style buildings constructed of native sandstone with coursed ashlar wall finish. Decorative elements are present at the second story facade level including pilasters at the corners, roof parapets, belt courses, embattled moldings, and an occasional stone nameplate with date. First floors feature display windows with recessed entrances. The best examples of the intact architecture with some Richardsonian Romanesque detailing are the Opera House at 501-503 Main Street (N.R. listed in 1987) and the Bank of Ralston, an O.L.I. property, at 520 Main Street.

#### Noncontributing Properties:

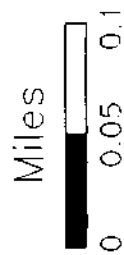
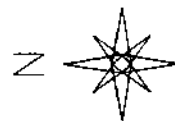
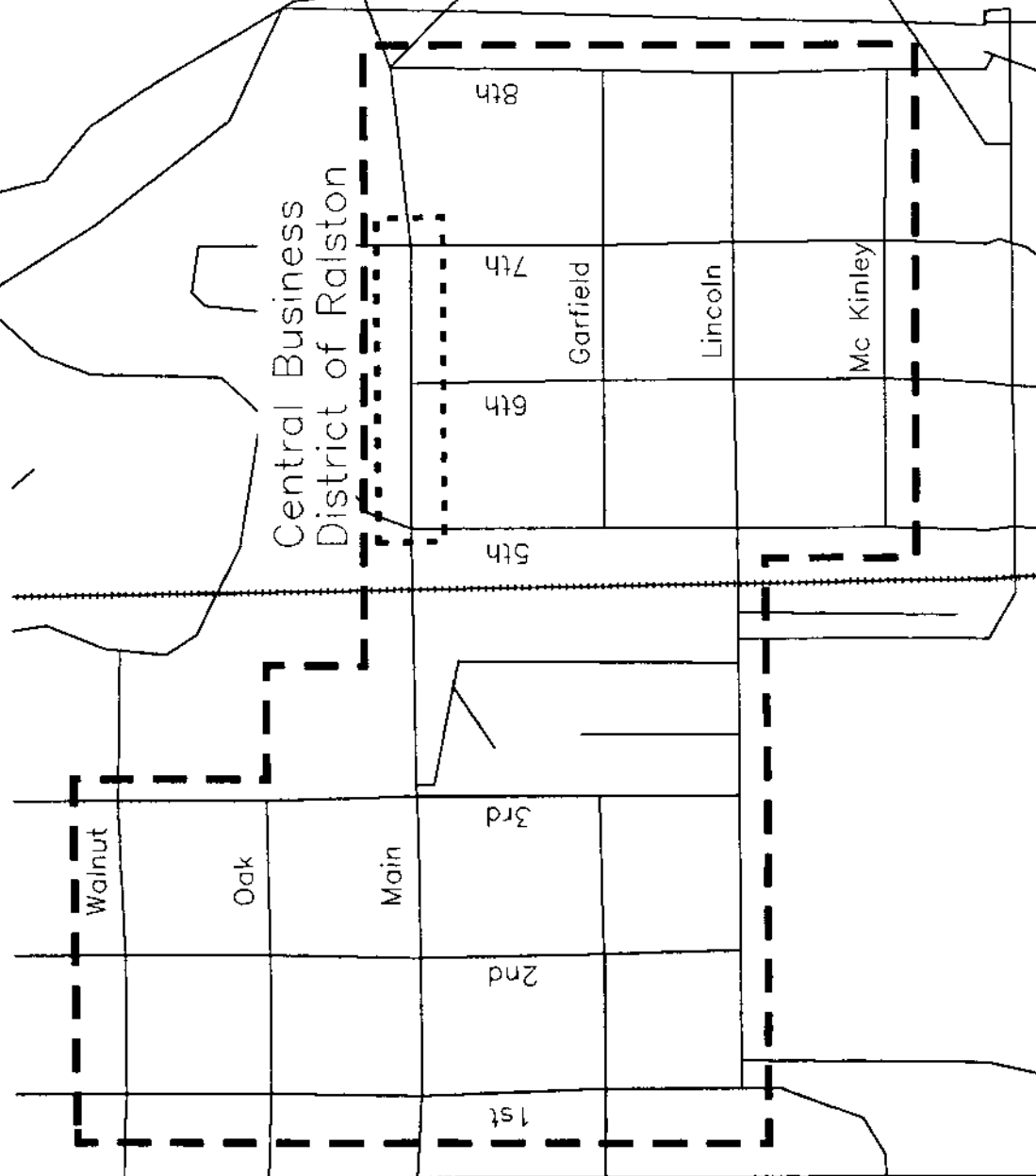
Of the eighteen original buildings, twelve retain their architectural integrity, a 66.7 percent contributing rate. Approximately six major gaps exist because of razed properties and two major intrusions are present (New U.S. Post Office and the Phillips 66 station). Three of the original buildings have suffered roof

losses and some of the buildings have paneled portions of their facades.

Recommendations:

It is recommended that the Central Business District of Ralston-Area #1 be further studied at an intensive survey level, but not nominated as a National Register historic district at the present time. The visual continuity and historic character of the area are interrupted by major gaps, building shells, and recent intrusions. The area does contain one National Register property (Opera House-Listed N.R. in 1987) and one O.L.I. building that is worthy of National Register listing (Bank of Ralston) as well as five other properties that merit additional study: Frank Bowen Building at 605 Main (1903), I.O.O.F. Lodge Building at 601-603 Main (1908), 501 Main (1910), 518 Main (1910), and 607 Main (1910).

# Ralston Areas That Warrant Further Study



## CENTRAL BUSINESS DISTRICT OF FAIRFAX-AREA #1

### History:

The Central Business District of Fairfax-Area #1 is significant as an example of a commercial district developed in two time periods in the history of Fairfax. The early commercial buildings were constructed during the railroad era when the Atchison, Topeka and Santa Fe railroad located their station in Fairfax in 1902 rather than in nearby Gray Horse. A United States Post Office was established in 1903. Several businesses moved from Gray Horse to Fairfax in anticipation of the coming of the station and expanded the central business district, e.g., the Wismeyer Building still located on Main Street, but covered with a new wood facade. The early development of the CBD from 1902 to 1920 centered around the railroad as well as the community's role as a goods and services node for the surrounding farmers and ranchers. Two intact examples that survive from this era are the First National Bank (N.R. listed in 1984) at 301 North Main and the B.F. Wilson Building (1907) at 320 North Main. A second wave of development in the CBD occurred in the 1920s with the nearby discovery of oil and gas. The oil boom phase resulted in the construction of new buildings on Main Street, e.g., Smith-Williams Hotel (1925) at 201-209 North Main and the Big Hill Trading Company (1924) at 224-240 North Main.



The area is included in the Original Townsite plan platted in 1906. Main Street serves as the dividing line for East/West addresses in Fairfax. The central business district buildings were occupied throughout the 1902-1930 period by various businesses/retail stores including several banks, groceries, hardwares, cafes and restaurants, auto repair, bakeries, barber shops, a movie theater as well as the telephone exchange and the hospital.

The buildings in the Central Business District of Ralston-Area #1 are representative of two time periods that played a major role in the development of the economic and commercial history of Fairfax from 1902 to 1930.

Description:

The area is located on Main Street, a wide thoroughfare and the major artery (Oklahoma Highway No. 18) through the central business district with parking on the street in front of the stores. Sidewalks line the front of businesses on both sides of the street. The area is comprised of one to two story commercial buildings of red brick and native sandstone.

The "four corners" intersection at Main Street and Elm Avenue was historically anchored by two banks at the northwest and southeast corners, both of which are on the National Register (First National Bank at 301 North Main-N.R. listed in 1984 and the Osage Bank of

Fairfax at 250 North Main-N.R. listed in 1984). These are the only two properties in Fairfax in the National Register listings.

The Central Business District of Fairfax-Area #1 includes the east and west sides of Main Street from Mulberry Avenue (southern boundary) including the Johnson Building on the west side of Main, to Maple Avenue (northern edge). The only interior street is Elm Avenue.

#### Architecture:

The architecture of the central business district is dominated by one and two story Commercial style buildings of red brick and native sandstone. Decorative elements are found in second story treatments, especially windows and roofline. Common features include pilasters at facade corners, corbelling at roofline, roof parapets, and embattled moldings and masonry nameplates. Display windows with recessed entrances are common at first floor levels.

#### Noncontributing Properties:

Major intrusions to the area include three new buildings on the east side of Main (First State Bank, Fairfax Medical Center, and Texaco Gas Station) and one building on the west side of Main (Sinclair Gas Station). Alterations include brick veneer at lower levels in and around new display windows, some aluminum and wood panel siding applied to facades, and various

awnings and canopies, the most common is the shake shingle type. The Smith-Williams Hotel is in poor condition due to roof leaks and flooded basement.

Recommendation:

It is recommended that the Central Business District of Fairfax-Area #1 be intensively surveyed in the near future with a possible nomination as a historic district at a later date. Several of the original buildings could be rehabilitated to their historic appearance. The area does include the two National Register properties (N.R. listed in 1984) and four buildings that warrant further study: B.F. Wilson (1907) at 320 North Main, Big Hill Trading Company (1924) at 224-40 North Main, Johnson Building (1926) at 153-161 North Main, and the Smith-Williams Hotel (1925) at 201-209 North Main.

## RESIDENTIAL AREA OF WEST FAIRFAX-AREA #2

### History:

The Residential Area of West Fairfax-Area #2 is significant as an example of a residential neighborhood developed during the 1920s when the oil boom influenced Fairfax. The area reflects the oil boom prosperity of the local area when citizens of the town moved up the housing hierarchy, or new business people moved into the community as a result of the petroleum business. It also reflects the flourishing national economy of the 1920s. The homes were built and occupied by business-related families and civic leaders who played an important role in the development of the town in terms of education and church-related activities. The area is located approximately two blocks north and east of downtown Fairfax and, therefore, was within walking distance to work and/or shopping. The area is a neighborhood with residences that are carefully maintained and have remained intact for more than sixty-five years. Area #2 is included in the following plats: Original Townsite (1906), Donelson Addition (1910), and Tallchief Addition (1910). Adding to the historic character of the neighborhood are brick-paved north and south streets. The focal points of the area are two mainline churches--First Presbyterian at 161 North Fifth, built in 1928; and the First Methodist at

101 North Fifth--and two schools--Fairfax Junior High and Woodland Elementary.

The residences in the West Fairfax Residential Area-Area #2 are representative of the circa 1920s era of a middle-class neighborhood.

Description:

The West Fairfax Residential Area is characterized by shady streets, carefully maintained dwellings, and a slight grade from north to south. The area is bounded on the north by Mulberry Avenue and includes Fifth, Sixth, and Seventh Streets from Mulberry to McKinley Avenue minus Sixth Street from Ash Avenue to McKinley. It is surrounded by additional residential areas to the north and south which do not retain the historic character or architectural integrity of Area #2. To the west one block is the western boundary of the Reconnaissance Level Survey boundary specified by OK/SHPO. The eastern edge is separated by two blocks from Main Street. No commercial development has occurred in the area.

Architecture:

The architecture of West Fairfax Residential Area retains a high degree of integrity and is characterized by mixed vernacular house styles. The predominant houses style is the Bungalow with several classic front-gabled types and an excellent example of an Airplane Bungalow at 160 North Sixth Street. Several

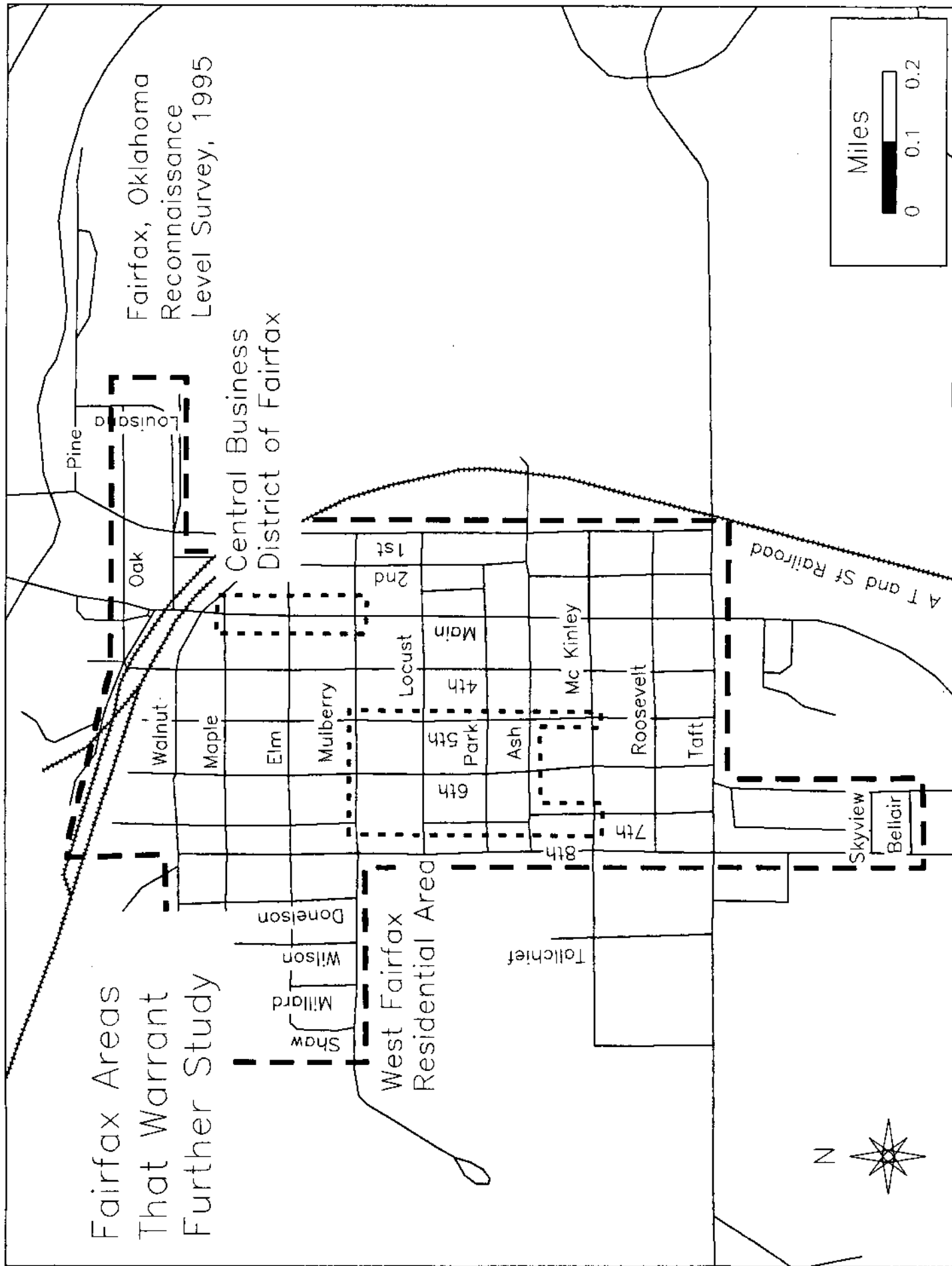
well-preserved Folk Victorians are present as well as one shotgun. Two period houses are from the Eclectic Movement--an Italian Renaissance and Classical Revival. Church architecture is exemplified in the Tudor Revival style of the First Methodist and First Presbyterian churches, and the Fairfax School auditorium exhibits several Classical Revival elements.

Noncontributing Properties:

A majority of the homes contribute to the visually cohesive nature of the area; however, a mobile home or two is present. Alterations are primarily in the form of exterior siding. The Woodland Elementary School, a relatively recent complex, detracts somewhat from the historic character of the area; yet serves as a link to neighborhood cohesiveness because of its location.

Recommendations:

Although the residential area to the south of Area #2 declines in housing quality, the West Fairfax Residential Area #2 deserves further study and is recommended for an intensive survey in the near future. It does contain several individual properties that merit further study including the First Presbyterian Church, First Methodist Church, Fairfax School Auditorium, and residences at 160 North Sixth Street and 201 South Sixth Street.



## CENTRAL BUSINESS DISTRICT OF NOWATA-AREA #1

### History:

The Central Business District of Nowata is significant as an example of a historic commercial district that developed during two phases of the town's history--the railroad era from 1889 to 1910 and as an oil and gas boom center from the late teens to 1930. Nowata began as early as the late 1860s as a trading post for Native Americans, primarily the Cherokees and Delawares, which included temporary and semipermanent structures. In 1889, the St. Louis and Iron Mountain railroad (later the Missouri Pacific) built a line from Coffeyville, Kansas through Nowata, and a United States Post Office was established in November of the same year. Three years later, the Cherokee Nation platted the townsite (a mile square) and auctioned off lots. Nowata was the Record Town for Recording District No. 3 in Indian Territory. These events resulted in the development of a substantial business district along Cherokee and Delaware Avenues, the major E/W arteries through the town. The streets were named after the two principal Native American tribes that settled the area.

By the mid-1890s, the wood-framed buildings in the Nowata business district were replaced with more permanent, fire-proof structures, such as the Campbell and Cook Building built in 1894 at 104 East Cherokee



Avenue, the oldest extant building in the central business district of Nowata.

Prior to statehood, a producing oil well was drilled in the area in 1904 which launched the opening of several shallow wells in the county. One well struck "radium water" and the Savoy Hotel, which was destroyed by fire, was rebuilt in 1911 to house visitors to Nowata who came to bathe in the medicinal water that claimed cures for various ailments from arthritis to diabetes. The Savoy at 124 West Delaware Avenue remains a vital part of Area #1 in Nowata.

At the time of statehood in 1907, Nowata was designated as the county seat of Nowata County. The Nowata County Courthouse at 229 North Maple Street is the only National Register property in the entire county (N.R. listed in 1984).

By the 1920s when petroleum activity was at its peak, several companies expanded their operations in Nowata County and some 20,000 producing wells were brought in, making the region one of the world's largest shallow oil fields. Because of this activity, Nowata's central business district continued to flourish in order to provide goods and services to the oil and gas producers, workers, and company personnel.

Thus, the commercial buildings in the Central Business District of Nowata are representative of the 1889 to 1930 era when the town emerged as a railroad

center, county seat, and oil and gas boom community. The Central Business District-Area #1 is included in the Original Townsite platted in 1892.

Description:

The Central Business District of Nowata-Area #1 is characterized by an unusual town design. In most county seat communities in Oklahoma, the county courthouse sets in the center of a town square with parking around the square in front of the businesses. In Nowata, however, the county courthouse is located in the 200 block of North Maple, a side street to the major east/west arteries--Cherokee and Delaware Avenues. The "main street" is Cherokee Avenue along which most of the extant commercial buildings are located. Intersecting with Cherokee and Delaware Avenues are the major N/S streets in Area #1 consisting of Maple, Oak, and Pine.

The "four corners" intersection is at West Cherokee Avenue and North Maple Street which is anchored by the First National Bank at the 105 North Maple Street and the Cook and Campbell Building at 105 East Cherokee Avenue. Both buildings are extant--the bank built in 1909 and the other in 1894.

Several other buildings representative of the 1889 to 1930 period are the aforementioned Savoy Hotel (1911) and the Campbell Hotel (c. 1912), both potential National Register properties; the Rex Theater (1920),

Virginia Building (c. 1900), McGill Furniture (c. 1900), and Martin's Building (c. 1900); all of which merit further study.

The tentative boundaries of the potential district are beginning at a point at the northwest corner at the intersection of East Shawnee Avenue and North Maple Street to the east to North Oak Street, south along North Oak to East Cherokee Avenue, west to North Pine Street, north to Delaware Avenue, east to North Maple Street, and north to East Shawnee Avenue, the point of beginning.

#### Architecture:

The Nowata Central Business District-Area #1 is comprised of one and two story Commercial style buildings, primarily of red brick. The buildings range in date of construction from the 1890s to the 1920s. Decorative elements are present at the second story level of the buildings including pilasters at the facade corners, corbelled and dentiled cornices, arches of various types over openings, roof parapets, belt courses, brackets, polychromatic brick, and some classical detailing, e.g., First National Bank, Virginia Building, and McGill Furniture.

#### Noncontributing Properties:

The most common alterations to the buildings are the changes in the first floor display windows, filled in first and second story openings, and exterior brick

painted. Some gaps/vacant lots exist in the area, e.g., the northeast corner of the intersection of North Oak and East Delaware. Some of the buildings have been razed to provide for parking lots, especially in the 100 block of West Cherokee.

Recommendation:

It is recommended that the Nowata Central Business District-Area #1 be intensively surveyed for a determination of eligibility for a future National Register nomination. Many of the commercial buildings, especially at ground levels, could be rehabilitated to restore their architectural integrity. The area contains one National Register property, two buildings worthy of National Register consideration, and several that warrant further study.

## WEST NOWATA RESIDENTIAL AREA-AREA #2

### History:

The West Nowata Residential Area-Area #2 is significant as the first residential neighborhood in the community developed west of the downtown business district from 1900 to 1930. The area is included in the Original Townsite plat in 1892 and the W.A. Davis Addition in 1927. All of Area #2 is composed of homes with the exception of two churches and the Cherokee Health Care Clinic (formerly the First Baptist Church). Approximately sixty properties are standing within the tentative area boundaries.

The residential area of middle-class homes developed immediately to the west of the downtown within easy walking distance to work and/or shopping. Many of the homes were constructed prior to statehood in 1907. The focal points of the neighborhood are the First Presbyterian Church at 202 West Delaware Avenue (1908) and the Episcopal Church at 212 South Pecan Street (1912).

The area has no particular local name attached to it because no parks or schools are located within the tentative edges. The residences in the West Nowata Area #2 are representative of the 1900-1930 era of middle-class neighborhoods.

### Description:

The West Nowata Area #2 is characterized by hilly terrain as one moves west from the downtown business district along West Delaware and West Cherokee Avenues. Many of the homes are set in hillsides off the incline from east to west. The east and west boundaries of the area are distinct in that the downtown is immediately to the east, whereas the Country Club of Nowata with recent, upscale housing is adjacent to the west.

In terms of tentative edges, Area #2 begins at a point at the intersection of North Pine Street and West Delaware Avenue, proceeds to the south along North Pine to West Cherokee, then to the west to South Pecan Street, then south to West Modoc Avenue, then west to South Hickory Avenue, then north along West Hickory to West Delaware (including one block to the west of Hickory Street), then east to point of beginning.

The neighborhood remains intact with little encroachment from the downtown area or from the Country Club. The areas to the north and south are also residential.

### Architecture:

The West Nowata Residential Area is composed of a mixture of architectural styles ranging from Airplane Bungalows to Prairie School, mostly drawn from the Eclectic Movement (1880-1940). A large percentage of the residences have retained a high degree of

architectural integrity. Probably the most common style is the Colonial Revival with various subtypes represented including a Dutch Colonial at 107 North Hickory Street. Some exceptional examples of the Colonial Revival style are at 313 and 324 West Delaware Avenue, 311, 315, and 321 West Cherokee Avenue, 100 North Hickory Street, and 608 South Pine Street. Other notable examples of period houses from the Eclectic era include two Prairie School houses at 305 West Delaware and 235 North Pecan Street, a classic Queen Anne at 350 South Cedar Street, and a Classical Revival at 140 South Pecan Street. An extraordinary example of an Airplane Bungalow is at 422 West Delaware and classic Bungalows are found at 106 South Hickory and 127 South Pecan Streets. The Episcopal Church is a fine representation of Tudor Revival architecture.

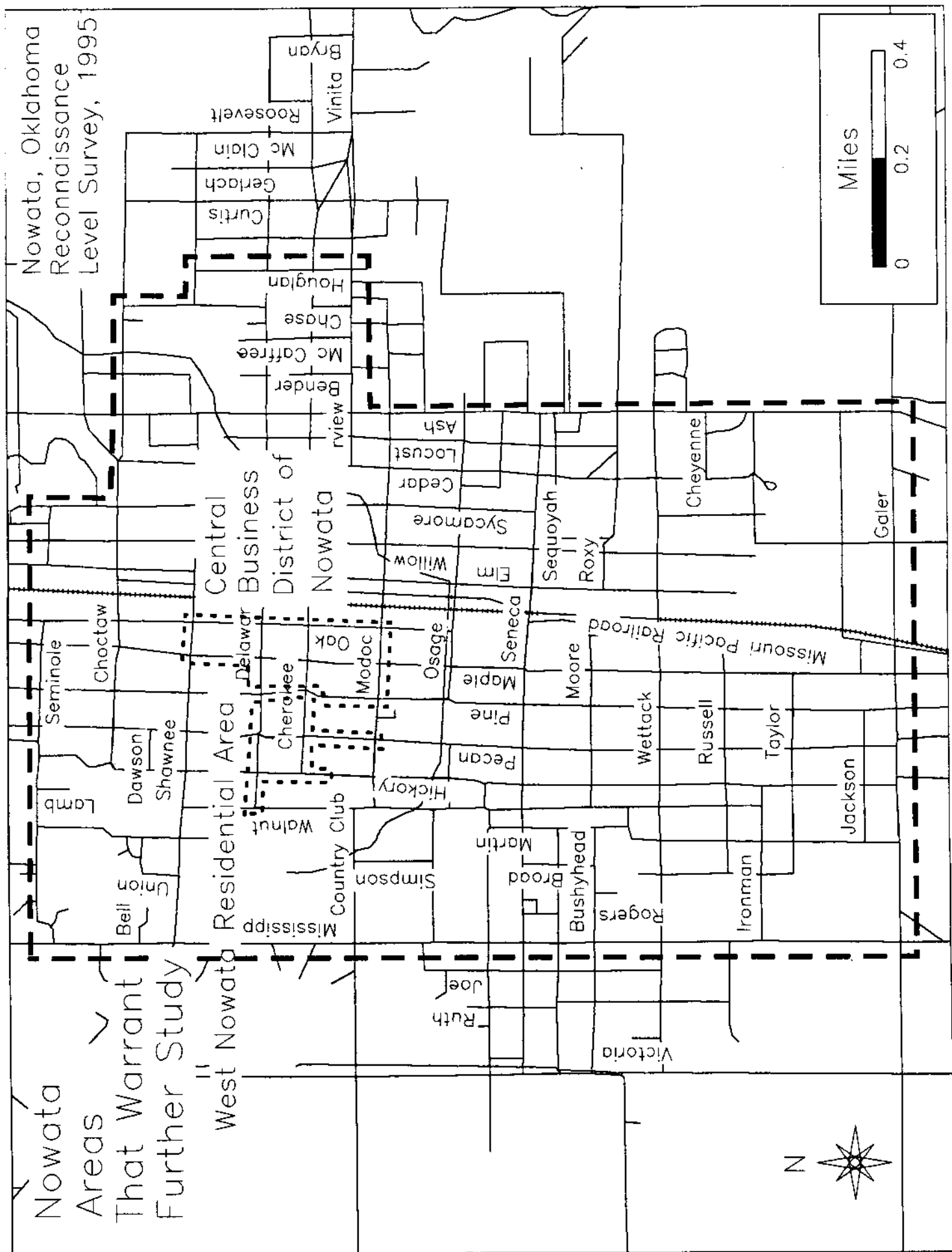
#### Noncontributing Properties:

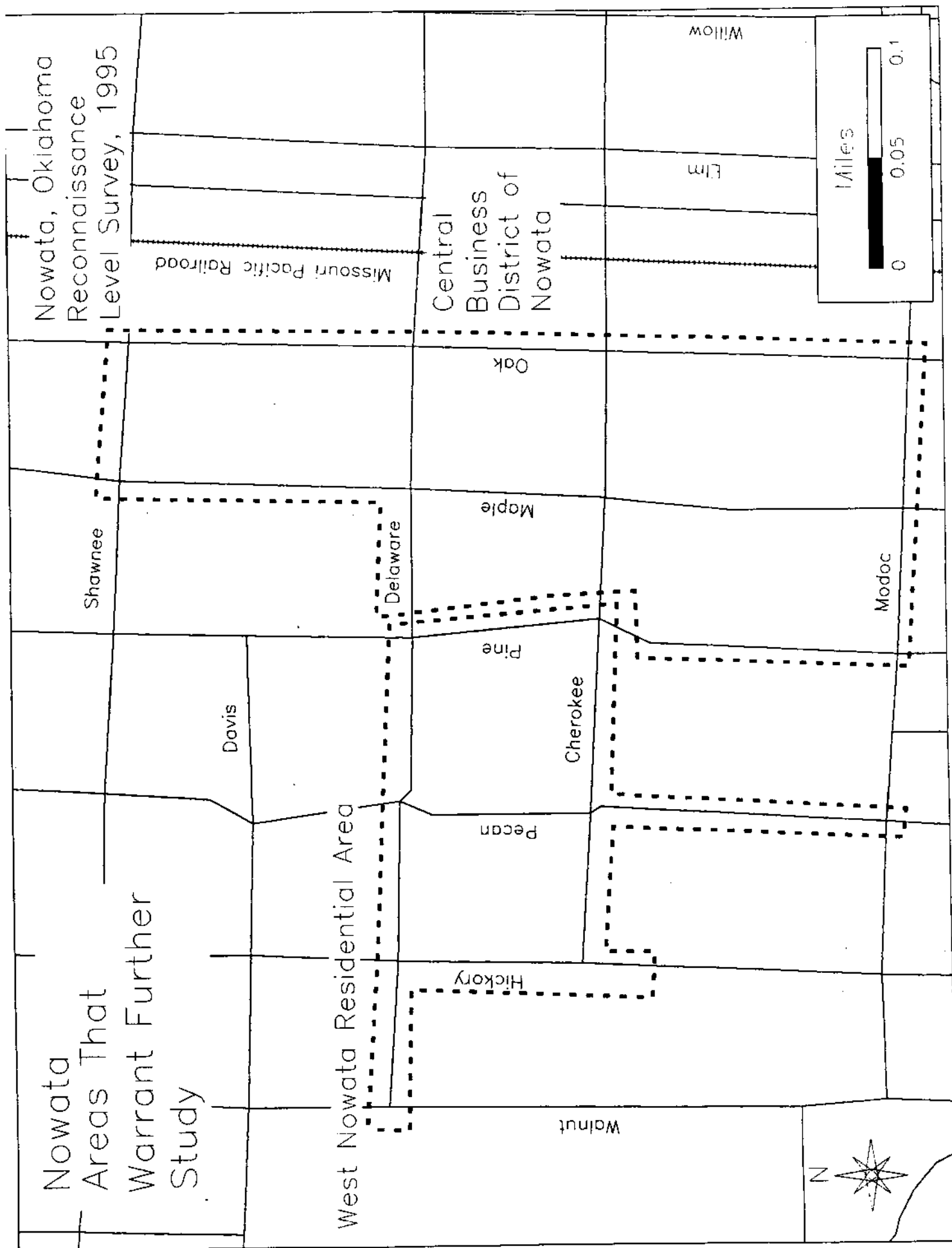
Approximately 95 percent of the homes are owner-occupied and a large percentage are more than fifty years old. Based on windshield surveys, it is estimated that forty to fifty percent merit further study for their architectural integrity. Only two to three vacant lots are present in the area with one major intrusion--a drive-in bank with parking lot. The First Baptist Church was recently razed and the site is now used for parking. A north addition to the church remains and is used for the Cherokee Health Center.

Recommendation:

The West Nowata Residential Area #2 should be intensively surveyed to determine its eligibility for a future National Register nomination. The area is well-maintained, and the vast majority of homes are well-preserved making it a visually cohesive district with few intrusions.







X-E.            THUMBNAIL SKETCH OF AREAS WARRANTING NO FURTHER  
STUDY

SOUTH CUSHING RESIDENTIAL AREA-AREA #3

Description:

Area #3 is located one block southeast of the Cushing central business district in the Second, Third, Fourth, and Fifth Street blocks of South Noble and South Harrison. It is two blocks east of the Atchison, Topeka and Santa Fe railroad tracks, two blocks west of the city limits, and four blocks north of the southern boundary of the specified study area of Cushing. The area is primarily residential and is included in the South Cushing (1902), South Highland (1912), and Daugherty (1913) Additions.

Architecture:

The architecture of Area #3 is dominated by vernacular and folk housing primarily from the National Folk families, especially hall-and-parlor and massed plan side gabled. No examples of I-houses, pyramidal, or shotgun folk styles were identified. The housing stock in this area has deteriorated and is in relatively poor condition. The area is characterized also by numerous vacant lots, overgrown vegetation, and mobile homes. No forms of high style architecture are present.

Noncontributing Properties:

A large percentage of the properties have been poorly maintained and altered. These changes include the

addition of small rooms and use of various types of exterior siding. Vacant lots indicate removal or razing of properties. The condition of several structures in the area requires rehabilitation.

Recommendations:

Area #3 does not qualify for further study at this time nor does it contain any individually eligible historic properties for the National Register or any that warrant additional study. Although much of the architecture in this area is over 50 years old, it does not represent any one period of time or one period of architecture to make a visually cohesive district.

## NORTH CUSHING RESIDENTIAL AREA-AREA #1

### History:

During the cotton-processing stage of Cushing's history from 1893 to 1912, a number of African-American families moved to the north side of Cushing, about four to five blocks north of Main Street and on the north side of the Missouri, Kansas, and Texas railroad tracks. They were employed in the cotton-processing industry, particularly the cottonseed oil mill.

Outside of the corporate city limits until 1912, the Washington Heights Addition was approved in 1913 and platted into 25' lots sold at \$100 to African-American families. At about the same time, the Cushing Board of Education established a segregated school in the northern section of town to educate thirty-five African-American children. Originally named Greasy Creek, the school was later renamed Booker T.

Washington. It became the focal point of the North Cushing neighborhood as did three African-American churches established in 1914, 1920, and 1925. With integration of public education mandated in 1954, the Washington School was closed and razed in the 1970s. The three churches continue to hold services and one commercial establishment in the area exists.

### Description:

Located four blocks north of Main Street, the original CBD, and eight blocks north of the current CBD, the

North Cushing residential area #4 is the historic African-American neighborhood of Cushing. The northern boundary is the north edge of the Cushing Reconnaissance Level Study Area designated by OK/SHPO. The western boundary is one block from the corporate city limits and the eastern boundary is one-and-a-half blocks from the eastern corporate city limits. The Atchison, Topeka and Santa Fe railroad tracks, which angle to the northeast, lie to the west of the area. The area includes North Central Avenue and North Seay Streets from West Pecan to West Cypress with the intervening 200 blocks of West Pine, West Hickory, and West Vine. All of Area #4 is included in the Washington Heights Addition platted in 1913. The area is a mixture of residences, churches, one commercial establishment, and one school block where the Washington School was located. Only the foundation remains present in the vacant block. A neighborhood park lies one block to the north of Cypress, outside of the Cushing designated study area.

#### Architecture:

The area is dominated by mixed vernacular house styles. At one<sup>1</sup> time, shotgun houses were the dominant house type, but many have been razed or destroyed by fire. The housing stock has deteriorated over time with little rehabilitation. There are a few (3-5) new Ranch style homes in the area. The architecture of the

churches is a simple vernacular design--one-story, gable roofed, wood frame buildings with little ornamentation.

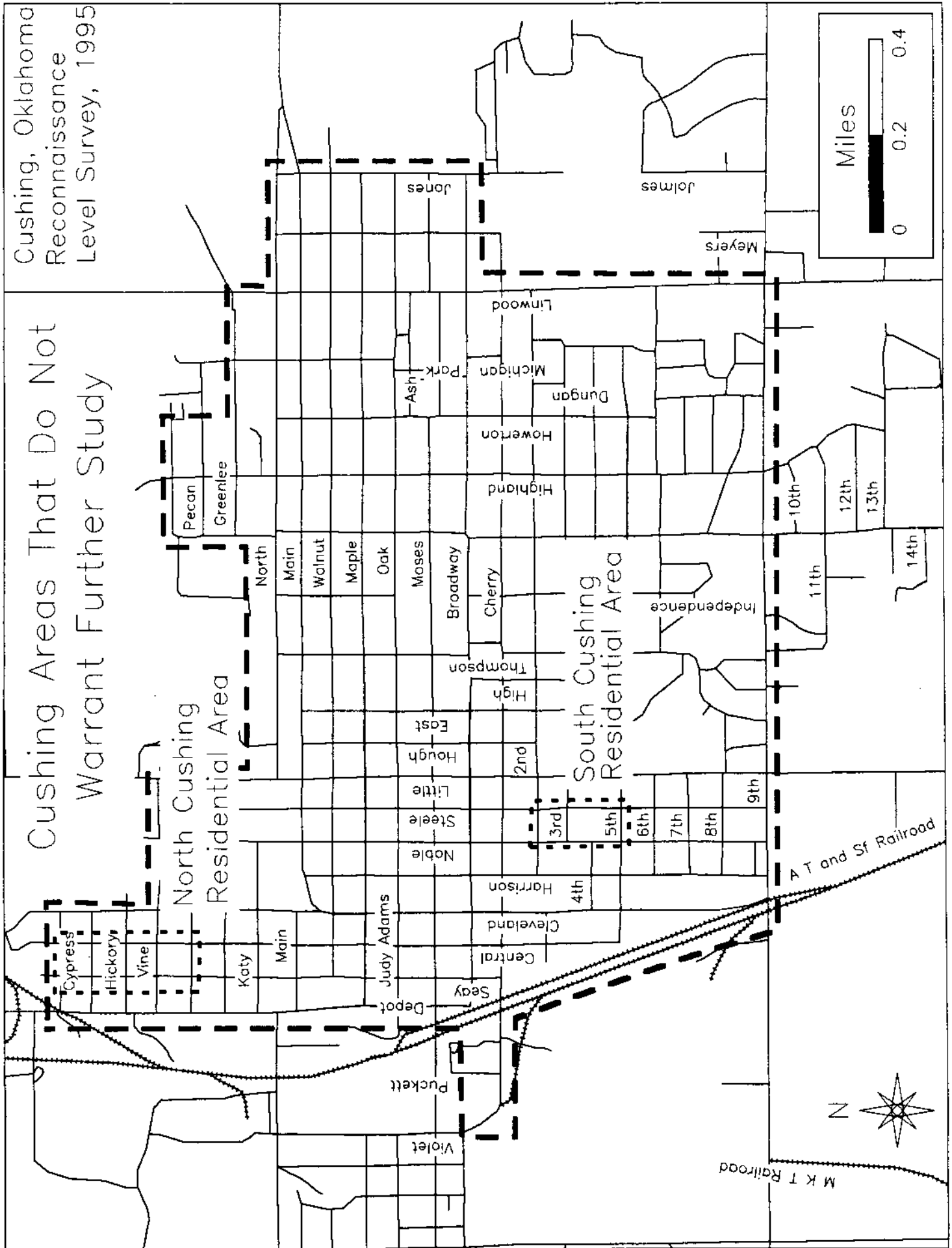
Noncontributing Properties:

Although many of the homes in the area are more than 50 years old, they remain in poor condition and probably could not be rehabilitated. A significant percentage of the residences have been altered with room additions and exterior siding. Vacant lots and mobile homes are scattered throughout the area with many of the gaps overgrown with dense vegetation.

Recommendations:

Area #4 in Cushing is a distinctive historic neighborhood; however, it lacks a visual cohesiveness because of the vacant lots, mobile homes, and deteriorated extant housing. It is recommended that the area does not warrant further study, but does contain three individual properties that warrant further study because of their religious and social significance to the African-American community: Mount Olive Baptist at 1019 North Central (1914), First Baptist North at 1001 North Central (1920), and the Macedonia C.M.E. at 301 West Pine (1925).

# Cushing Areas That Do Not Warrant Further Study





## SOUTH RESIDENTIAL AREA OF RALSTON-AREA #2

### Description:

Area #2 in Ralston is located to the south of the Main Street central business district. Boundaries are Fifth Street to the west, Garfield Avenue on the north, Eighth Street on the east, and McKinley Avenue on the south. McKinley Avenue is also the southern boundary of the designated study area for Ralston as specified by OK/SHPO. Interior streets within the area include Lincoln Avenue (E/W) and Sixth and Seventh Streets (N/S). The area is entirely residential with one church built in 1913. The area is included in the Wismeyer's Addition platted in 1903. The new Ralston School is located south of Area #2 and falls outside of the study area of the reconnaissance level survey. No commercial establishments, parks, or playgrounds are present in Ralston area #2.

### Architecture:

The architecture of Ralston Area #2 is comprised of mixed vernacular styles with Folk Victorian, Craftsman, Hall-and-Parlor, and others scattered throughout with no one style dominant in the area. The housing stock has deteriorated and is in relatively poor condition. Numerous gaps/vacant lots, mobile homes, and a few new Ranch style houses were identified. No forms of high style architecture are present.

Noncontributing Properties:

A significant percentage of the properties in Ralston Area #2 are poorly maintained and altered. These changes include addition of small rooms and use of various types of exterior siding. Vacant lots indicate removal or razing of houses. The condition of several residences in the area requires rehabilitation.

Recommendation:

Ralston Area #2 does not meet qualifications for further study at this time. It does include one individual property that warrants additional study: First Christian Church at 201 Sixth Street, a native sandstone religious building with Richardsonian Romanesque detailing, built in 1913. Although much of the housing stock in the area is more than 50 years old, it does not represent any one period of time or style of architecture to make a visually cohesive district. Moreover, major gaps contribute to the lack of cohesion necessary for a historic district.

### NORTH RALSTON RESIDENTIAL AREA-AREA #3

#### Description:

Located immediately to the north of Main Street and to the west of the Ralston central business district, the North Ralston Residential Area #3 is bounded on the south by Main Street, on the east by Third Street, on the north by Walnut Avenue, and on the west by First Street. Interior streets include Oak Avenue (E/W) and Second Street (N/S). The Walnut Avenue and First Street boundaries of Area #3 also coincide with the edges of the OK/SHPO study area specified in the Reconnaissance Level Survey of Ralston. Area #3 is included in Thompson's Addition platted in 1902. No commercial establishments, schools, churches, parks, or playgrounds serve as a focal point for Ralston Area #3.

#### Architecture:

The architecture of Ralston Area #3 consists of mixed vernacular styles with Folk Victorian, Bungalow, and National Folk the most common. No forms of ornate high style architecture are present. The housing stock is in relatively good condition compared with the quality of housing in Ralston Area #2. The area is plagued with gaps and mobile homes.

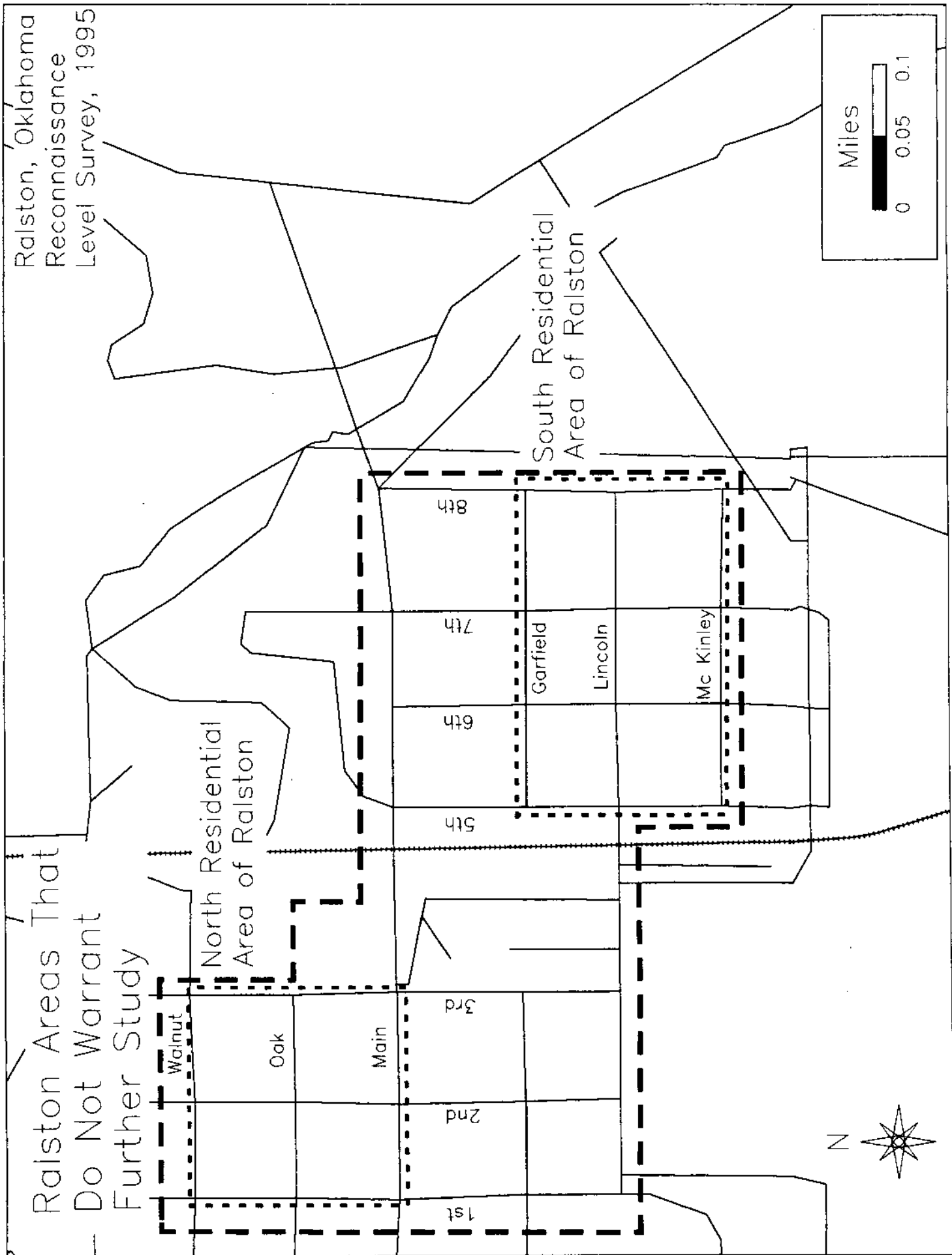
#### Noncontributing Properties:

Additions and alterations are common throughout the area and the condition of several homes requires rehabilitation. The most glaring aspect of the area is

the vacant lots/gaps which detract from the density of houses and compromise the visual cohesiveness of the area as a historic district.

Recommendation:

At this time, it is recommended that the North Ralston Residential Area #3 does not qualify as a historic district nor does it contain any individual historic properties worthy of further study. Although much of the housing stock is more than fifty years old, the area does not stand as a distinctive historic district because of the lack of visual cohesion based on vacant lots and alterations.

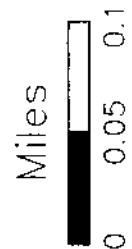
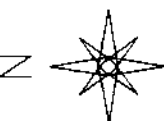


Ralston, Oklahoma  
Reconnaissance  
Level Survey, 1995

South Residential  
Area of Ralston

North Residential  
Area of Ralston

Ralston Areas That  
Do Not Warrant  
Further Study



### SOUTHWEST RESIDENTIAL AREA OF FAIRFAX-AREA #3

#### Description:

The quality of housing deteriorates in the southwest portion of Fairfax as one proceeds along Fifth, Sixth, and Seventh Streets from Area #2 to Taft Avenue, the partial southern boundary of the Reconnaissance Level Survey Study Area as specified by OK/SHPO. The Southwest Residential Area includes Ash Avenue to Taft Avenue on Sixth Street, McKinley Avenue to Taft Avenue on Fifth and Seventh Streets, and the interior street of Roosevelt Avenue from Fifth to Seventh Streets (E/W). The additions in Area #3 include Donelson Addition (1910) and Tallchief Addition (1910).

#### Architecture:

Area #3 is a mixed vernacular style among the older homes covered with various types of siding, especially asphalt. The housing stock is deteriorated and needs rehabilitation. Vacant lots/gaps are overgrown with vegetation, automobiles are parked on lawns, and several mobile homes are present. Finally, some commercial development exists on the south end along Taft Avenue.

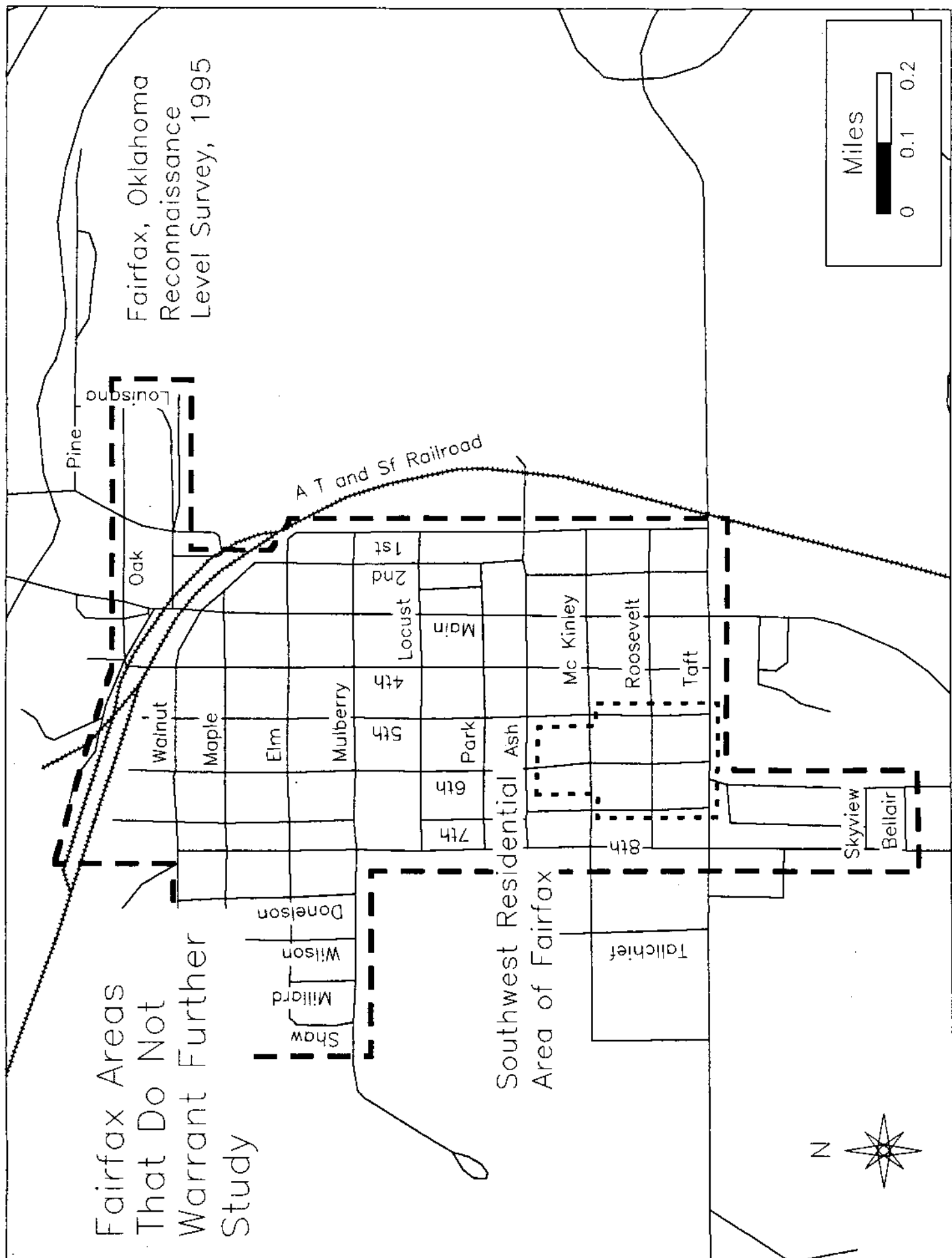
#### Noncontributing Properties:

A large percentage of the properties in this area have been altered including additions of small rooms, carports, and exterior siding. Foundations are present on vacant lots indicating homes have been razed or

destroyed by fire. Vacant houses in poor condition are noticeable from the street. Several new homes detract from the area's continuity interspersed with homes of more than fifty years in age. Overgrown vegetation in gaps is evident.

Recommendation:

The loss of integrity, unoccupied residences, and lack of visual cohesiveness due to vacant lots disqualifies this area from further study. Area #3 in Fairfax contains no individual properties that warrant further study.





### NORTHEAST RESIDENTIAL AREA OF NOWATA-AREA #3

#### Description:

Located northeast of the downtown central business district, Area #3 is the historical and present day African-American neighborhood in Nowata. Three African-American churches remain extant and are the focal points of the area. The foundation of the all-black Lincoln School, the segregated educational facility in Nowata, is located on East Choctaw Avenue in the area.

The area is included in three additions to the original townsite plat: Fairview Place (1905), Minnie Riley (1906) with extension in 1927, and Keys and Kornegry (1908). An unnamed creek meanders through the area to produce a flood plain which has affected the housing stock at periodic flood times because of standing water up to the porches.

The boundaries of the area begin at the intersection of North Oak and East Seminole, proceed east to North Sycamore, then south to East Choctaw (which are the boundaries of the Reconnaissance Level Survey of Nowata designated by OK/SHPO), then south on North Ash to East Shawnee, then east to North Oak, then north along North Oak to point of beginning.

#### Architecture:

The area is characterized by one-story, simply designed mixed vernacular house styles with National Folk

traditions most common including hall-and-parlor, mass plan-side gabled, and a few pyramidals. No examples of I-houses or shotguns were identified. The housing stock is deteriorated and in poor condition with numerous vacant lots where houses have been removed or razed.

The church architecture of the three religious buildings is vernacular with one-story, gabled or hipped roof, and weatherboard or stucco wall finish present. Minimal exterior features or decorative elements are common. The churches are the First Baptist at 252 North Willow Street (1925), Holiness Church at 236 North Cedar Street (c. 1915), and the Visitor's Chapel African Methodist Episcopal at 303 North Sycamore Street (1936).

#### Noncontributing Properties:

A significant percentage of the homes have been altered in the form of small room additions and extensive use of various types of siding. Condition of the residences is poor and rehabilitation is necessary or, in some cases, impossible.

#### Recommendations:

This area was platted during the statehood years of 1906-1908 with many of the properties that remain more than eighty years old and in need of rehabilitation or deteriorated to the point that rehabilitation is impossible. The area does not qualify as a historic

district, but does contain three individual properties (churches) that warrant further study because of their historic association with the African-American community of Nowata.

#### SOUTHEASTERN NOWATA-AREA #4

##### Description:

The Southeastern Nowata Area #4 begins at the intersection of East Taylor Avenue and South Ash Street (U.S. Highway 169), proceeds south to East Galer Avenue, then west to South Maple Street, then north to East Taylor Avenue, then east to point of beginning. No interior streets are located within the bounded area nor, according to County Clerk's records, has it been platted. This area is included in the Reconnaissance Level Survey of Nowata; however, it is primarily pasture land with some wooded area on the north side.

##### Architecture:

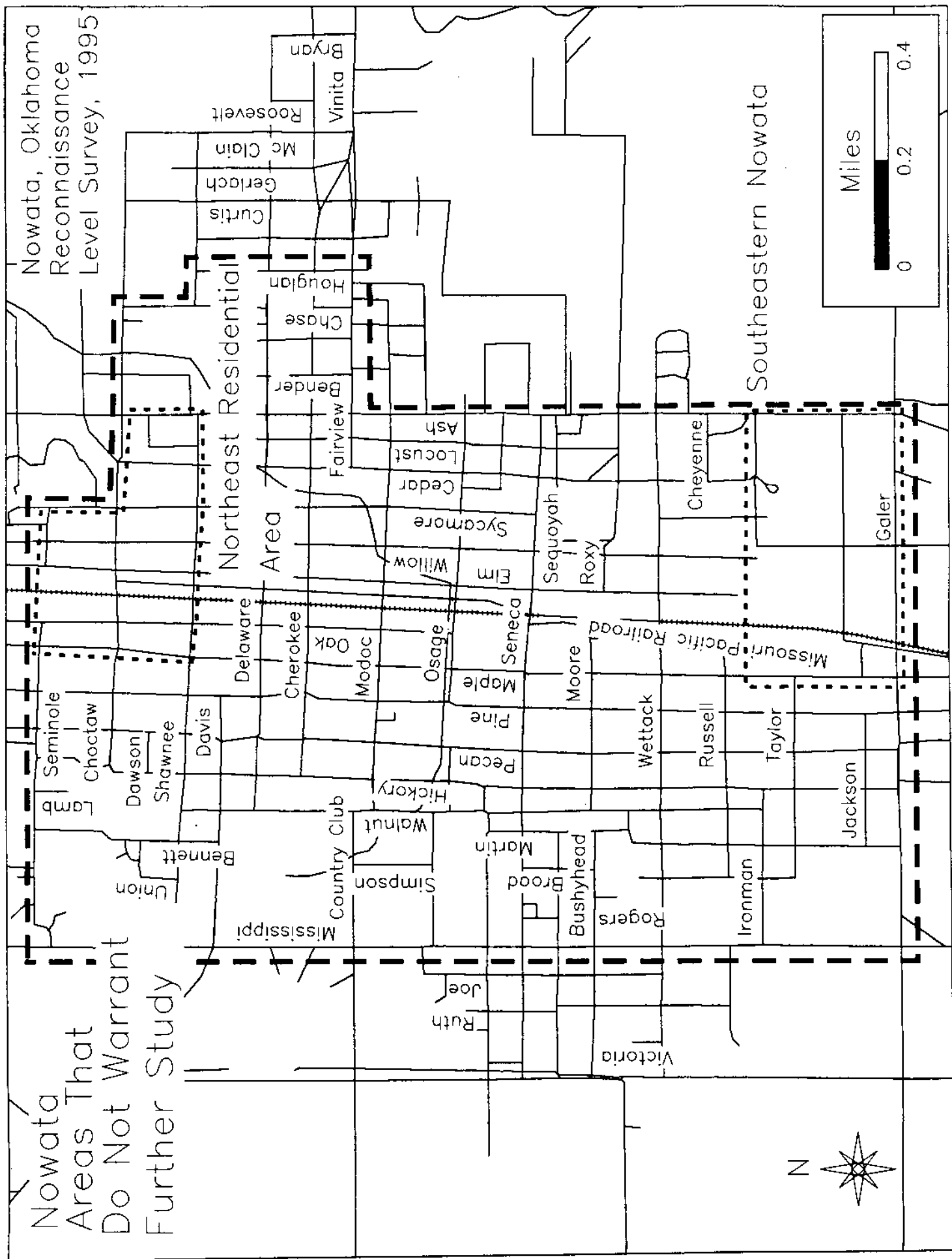
The Area #4 contains no significant buildings, structures, objects, or sites.

##### Noncontributing Properties:

The area contains neither contributing or noncontributing properties.

##### Recommendations:

The Southeastern Nowata Area #4, which is primarily open space, is included in the Reconnaissance Level Survey of Nowata warrants no further study nor should have been included in the survey area boundaries. It is within the corporate city limits of Nowata, but contains no properties.



## XI. HISTORIC CONTEXT

### Introduction

The four towns in the project study area (Cushing, Nowata, Fairfax, and Ralston) share several common characteristics that are categorized under various themes. In terms of location, all four are in the northeast quadrant of the state even though in four separate counties (Cushing-Payne, Nowata-Nowata, Fairfax-Osage, and Ralston-Pawnee) [Fig. 1]. In regard to historic preservation planning purposes, three are located in Management Region 3 (Ralston, Fairfax, and Nowata) while Cushing is in Management Region 6. As to physical geography, Ralston, Fairfax, and Cushing are found in the Sandstone Hills whereas Nowata is in the Prairie Plains, although all four have a relatively uniform topography, ranging from approximately 400-600' above sea level. Thus none of the four towns exhibit a prominent upland or lowland contour. All four have a growing season of 200 days or longer--a long enough period for the chief cereal crops of wheat and corn and the principal fiber crop of cotton to mature. Average annual rainfall for each community ranges between 32 and 36 inches while the average January temperature ranges from about 36 to 38°F and the July average is from roughly 80 to 82°F. The length of the frost-free period, the amount of rainfall, and the temperature patterns greatly influenced the activities of the pioneer settlers. All four towns lie in the drainage basin of the Arkansas River or one of its tributaries such



as the Cimarron (Cushing) or Verdigris (Nowata). This factor likewise played an important role in the settlement patterns, agricultural productivity, and transportation systems in each town.

Natural Resources have been a determining factor in the growth and development of the four communities. Coal contributed to the founding of Ralston and affected the evolution of Nowata. Oil and gas, however, have had the greatest impact on the expansion of the four towns, especially in their early histories. Oil and gas were discovered around Nowata in the early 1900s, the Osage Field influenced the development of Ralston and Fairfax in the 1920s, and Cushing was the center of the Cushing Field from 1912 onward. They were all located in or near one of the giant oil fields of Oklahoma during the first half of the twentieth century: Cushing, Burbank, and Avant [Fig. 2].

In addition to natural resources, agriculture has been a consistent segment of the local economies. Located farther to the south than the other three towns, Cushing was a primary cotton marketing and shipping center from the 1890s to 1912 when oil was discovered east of the town, near Drumright. The three communities to the north were known more for their diversified farming economies. Farmers near Ralston, Fairfax, and Nowata were engaged in the production of a variety of crops and livestock. Ralston and Fairfax, located in bluestem grass country, were noted for grazing cattle and hay production, whereas Nowata was a corn and





dairying area. They were all important as farm-to-market centers where agriculturalists traded produce for ready-made goods as well as other services such as banking, legal assistance, and health care. During their early histories, each was considered a "central place" for the surrounding region in an era before super highways and faster automobiles.

None of the four towns has ever experienced a sustained population growth rate, although Cushing "boomed" from 1912 to 1920 at the peak of the Cushing Oil Field discoveries. All have witnessed greater population totals during their individual histories than at present. As with many Oklahoma communities associated with petroleum and agriculture, each has gone through "boom and bust" economic cycles which have affected their population rates.

Native American settlement is a theme with which all four towns have been associated. Nowata was a part of the Cherokee Nation prior to statehood. It was located in the Cooweescoowee District, and early settlers at Coodys Bluff to the east, Lenapah to the north, and Talala to the south traded in the stores at Nowata. The Cherokees were responsible for platting the townsite of Nowata in 1892. Moreover, the Delaware Indians settled in the Nowata area under an arrangement with the Cherokees in the 1860s. Ralston was established in Pawnee Indian country near the Osage Indian reservation, while Fairfax was a part of the Osage Nation until 1907. Cushing was founded in the Sac and

Fox Nation after the allotments of 1890 and the Land Run of 1891 opened the area for white settlement. Even after Cushing was homesteaded as a future townsite in 1892, Sac and Fox tribal members lived on Euchee Creek to the east of Cushing.

At the outset each of the towns was heavily dependent on one or more railroad lines. This form of transportation provided major impetus for development of the communities during their early stages. Fairfax was founded on the Atchison, Topeka and Santa Fe right-of-way and resulted in the wholesale removal of the community of Greyhorse to it in 1902. Ralston was established when the Atchison, Topeka and Santa Fe railroad decided to build a bridge across the Arkansas River in 1902. Nowata's existence relied heavily on the coming of the Iron Mountain and Southern railroad, and was later influenced by the Missouri Pacific and Missouri, Kansas, and Texas railroads. Cushing's significance as a cotton processing and marketing center was contingent upon the Missouri, Kansas, and Texas railroad in its early years. Later, it boasted a second railroad (Atchison, Topeka and Santa Fe) during the oil boom years. The latter railroad greatly affected the layout of the town's commercial business district.

Additional transportation and communication systems with existing towns in Oklahoma and out-of-state locations have helped mold each town. Because of their proximity to rivers such as the Arkansas, Cimarron, and Verdigris, each

town at one time or another was influenced by river traffic. The construction of bridges across these rivers also played a major role in their economic and social history. The bridge across the Arkansas, constructed by the Atchison, Topeka and Santa Fe in 1902, greatly shaped the towns of Ralston and Fairfax. Ralston, for example, once had steamboat passage that ran to Tulsa on the Arkansas River. Because of its central location within the Oklahoma oil fields, Cushing eventually became the "pipeline crossroads" of the nation during and after its petroleum boom. Finally, the coming of paved roads and the emergence of a state and national highway system resulted in all four towns being located on one or more state or national highways. Nowata was blessed with two U.S. Highways running through it, including U.S. Highway 60, an east-west route, and U.S. Highway 169, a north-south artery [Fig. 3]. Cushing possessed two state highways, Oklahoma 33, an east-west thoroughfare, and Oklahoma 18, which led north to Ralston and Fairfax.

All developed a local industrial base consisting of agricultural and petroleum-related plants and factories. Representative of the agricultural sector were broom factories (Ralston), creameries (Cushing), grain elevators (Nowata), milk depots (Fairfax), and cotton gins (Cushing and Ralston). Cushing, in addition to its pipelines, was home for more than a dozen oil and gas refineries during its

# NOWATA COUNTY

OKLAHOMA - -

COMMUNITIES AND NEIGHBORHOODS

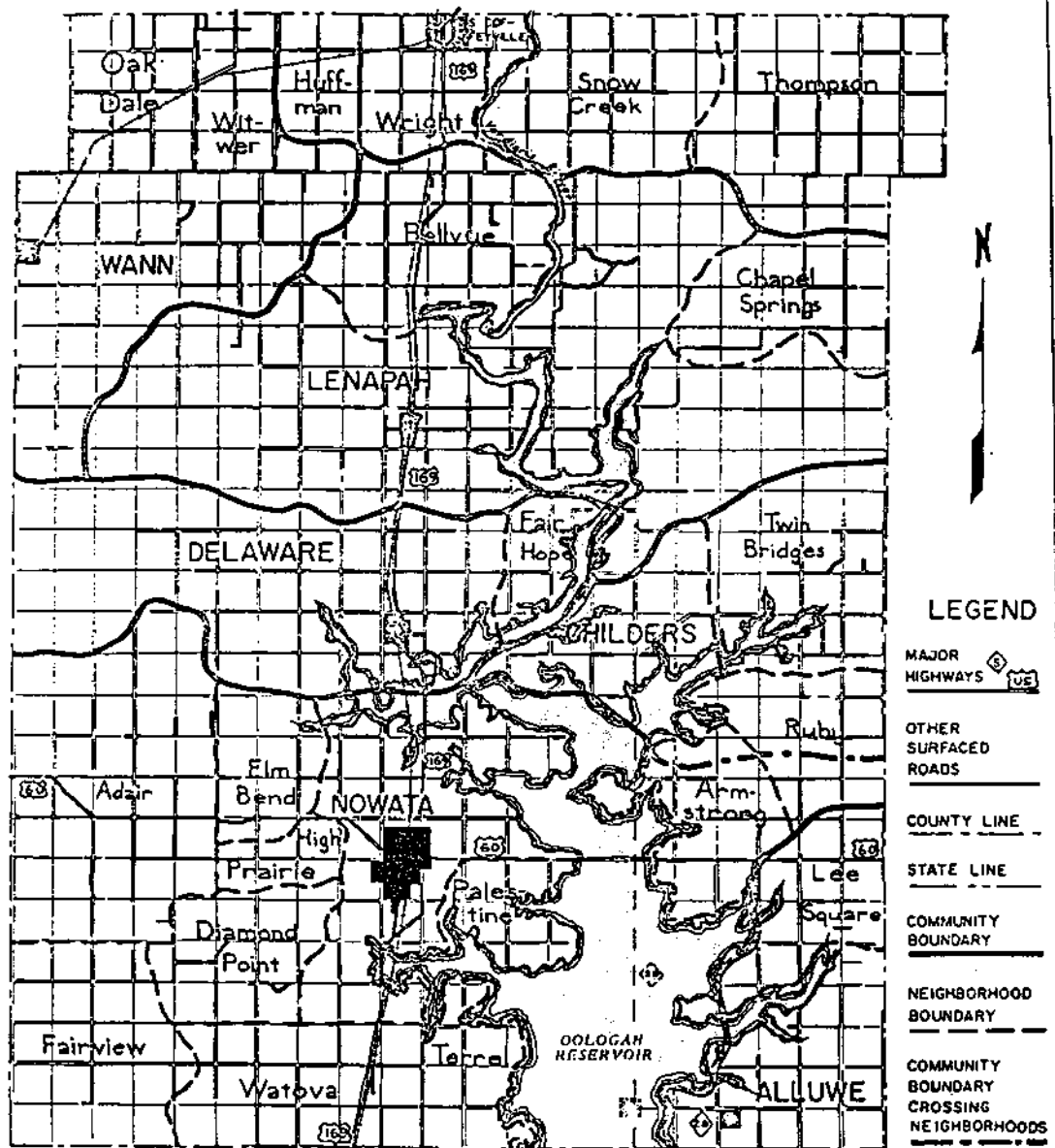


FIG. 3. HIGHWAY ROUTES THROUGH NOWATA COUNTY  
 Source; Economic Base Report: Nowata County Oklahoma  
 Employment Securities Commission (1966)

heyday, while Nowata boasted of one of the largest casinghead gasoline plants in the state.

Each town maintained a vibrant commercial and professional business district. Physicians, dentists, attorney, and teachers were among the professional groups represented in each town. Businesses which flourished included meat markets, grocery stores, drug stores, cafes and restaurants, bakeries, dry goods, hardwares, furniture stores, garages and auto agencies, ice plants, lumber yards, undertakers, millinerries and haberdasheries, and banks (all four had at least two). Moreover, each possessed at least one newspaper and Cushing supported two at one time (Ralston News, Fairfax Chief, Nowata Daily Star, and Cushing Independent and Herald).

Each town took great pride in the public services provided to their residents. Funds were raised and accommodations were made for paved streets and sidewalks, telephone exchanges, water plants, sewage systems, fire and police protection, and schools. Fairfax, for example, passed a school bond without a dissenting vote to construct one of the finest school buildings in the state, a \$50,000 project by 1910.

Socially and culturally, the four towns demonstrated early on that they were interested in more than work. A variety of social and cultural events occurred in the early phases of these communities including the formulation of brass bands and community orchestras, town team baseball,

and organization of civic and fraternal groups. Both Ralston and Cushing built opera houses which staged live vaudeville and music performances, and all four supported motion picture theaters. Fraternal groups were well-represented in the four towns including the Masons, Odd Fellows, Modern Woodmen of America, and Rebekahs. Finally, all mainline religious denominations were found in the four towns including Baptists, Methodists, Presbyterians, Catholics, Christians, Episcopalians, and Fairfax had a Christian Science group. In each community, religious groups were among the first to organize, hold services, and construct buildings to house congregations.

These themes are given more indepth analysis in the following examination of each town's historical background. All four towns were founded around the turn of the century, therefore, no particular order is placed on the foregoing sections.

## NOWATA

### Founding and Naming

Nowata is located in the south central section of Nowata County, about 25 miles south of Coffeyville, Kansas; 33 miles west of Vinita; 30 miles north of Claremore; 50 miles northeast of Tulsa; and 20 miles southeast of Bartlesville [Fig. 3].

As indicated in the Introduction, Nowata's association with Native Americans dates to the early nineteenth century when the Cherokees were given title to most of northeastern Oklahoma in a series of treaties with the Federal government starting in 1817, followed by those in 1828 and 1830. In the treaties of 1828 and 1830, the Cherokees obtained all of Nowata County. In a treaty with the Cherokee Nation in 1867, the Delawares settled on Cherokee land with a majority of them locating in Nowata County. The town of Lenapah, to the north of the city of Nowata, derived its name from the Delaware "Lenni Lenape" which means "first people" in their language [Fig. 4].

The St. Louis and Iron Mountain Railway (later the Missouri Pacific) completed a line through the old Cherokee town of Nowata in 1889. It ran from Coffeyville, Kansas to Fort Smith, Arkansas. There are several stories as to the naming of the town. According to one report, two surveyors for the railroad boarded with an educated Cherokee woman and asked her for possible station names for towns along the line. The woman suggested "Noweta" from the Delaware word



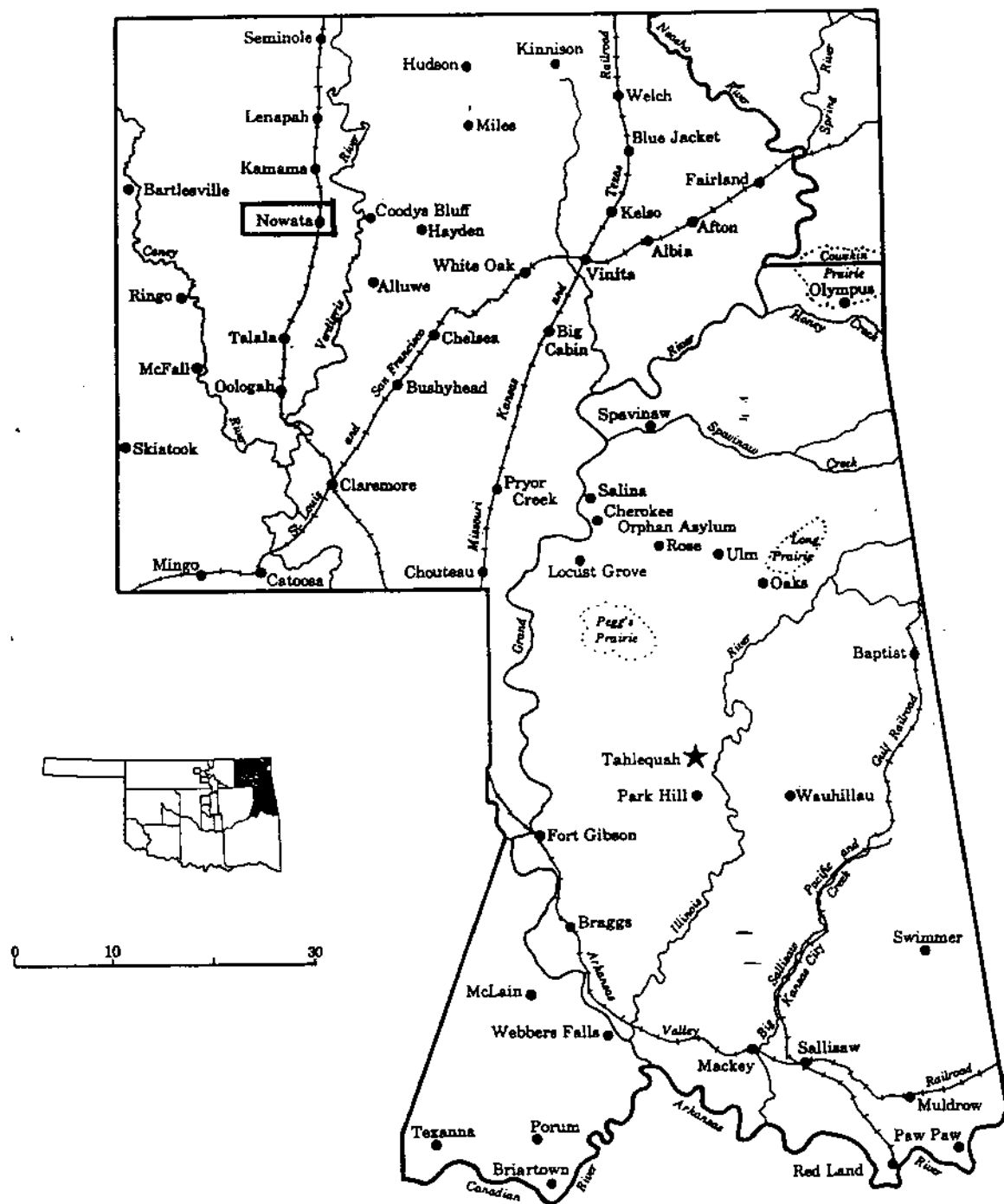


FIG. 4. CHEROKEE NATION: NOWATA AND LENAPAH  
 Source: Morris et al, Historical Atlas of Oklahoma (1986), 36.

meaning "welcome." Two different accounts are told about how the spelling was changed to the present "Nowata."

One of the stories is that the U.S. Post Office Department misspelled the name of the town in their official records, while still another account relates that a drunken painter painted the misspelled "NOWATA" on the railway depot and the name endured.

Yet another story is told of how Nowata's name was derived:

A Georgian, who although a good plainsman, was a poor speller. One day, while traveling across the prairie toward the government station at Ft. Smith, Arkansas, he came upon a sign directing travelers to Rattlesnake Springs, four miles off the trail. Being thirsty, the Georgian visited the Springs, but found the small stream dry. Returning to the trail and to prevent other travelers making fruitless trips he decided to write "No Water." And that was where the poor spelling figured. As he was a southerner, the man pronounced 'water' as 'wata,' so in straggling letters he wrote 'No Wata' across the sign. The town grew up near there and was known as No-Wata(1).

In 1892 the Cherokee Nation established the townsite of Nowata as one mile square and lots were sold at auction [Fig. 5]. The Federal government incorporated Nowata in 1904 and reduced the townsite to 320 acres. Thus, a controversy ensued between the two governments. The Cherokees favored a larger townsite and a more wide open policy. The Federal marshal of Nowata killed the Cherokee marshal and his brother in a gun fight. The Federal marshal was charged and convicted of murder, but was soon pardoned by President Theodore Roosevelt. Afterwards, the Federally-

